

THE
SHIFT
ADU

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COVER

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STRUCTURAL ENGINEER
 Munzing Structural Engineering

CONTRACTOR
 TBD

MECHANICAL ELECTRICAL PLUMBING DESIGN/BUILD
 TBD by Contractor

ABBREVIATIONS

- CL CENTERLINE
- Ø DIAMETER
- AFF ABOVE FINISH FLOOR
- AHJ AUTHORITY HAVING JURISDICTION
- ALUM ALUMINUM
- BO BOTTOM OF
- CJ CONTROL JOINT
- CLG CEILING
- CLR CLEAR
- CO CLEAN OUT
- CONC CONCRETE
- DS DOWN SPOUT
- DW DISHWASHER
- (E) EXISTING
- EJ EXPANSION JOINT
- EQ EQUAL
- FCB FIBER CEMENT BOARD
- FD FLOOR DRAIN
- FO FACE OF
- FRM FRAME
- GA GAUGE
- GWB GYPSUM WALL BOARD
- GALV GALVANIZED
- HB HOSE BIB
- HORIZ HORIZONTAL
- INSUL INSULATION
- MW MICROWAVE
- NIC NOT IN CONTRACT
- NTS NOT TO SCALE
- OC ON CENTER
- OD OUTSIDE DIAMETER
- OWNF OWNER FURNISHED
- PLWD PLYWOOD
- RD ROOF DRAIN
- REF REFRIGERATOR
- RO ROUGH OPENING
- ROW RIGHT OF WAY
- SF SQUARE FOOT (FEET)
- SIM SIMILAR
- SS STAINLESS STEEL
- TO TOP OF
- TYP TYPICAL
- UNO UNLESS NOTED OTHERWISE
- VERT VERTICAL
- VIF VERIFY IN FIELD
- VIN VINYL
- WD WOOD
- WRB WEATHER RESISTIVE BARRIER

DRAWING LIST

- A000 COVER
- A001 CODE + SITE
- A101 PLANS & RCP
- A102 SCHEDULES
- A201 ENLARGED KITCHEN
- A202 ENLARGED BATHROOM
- A301 ELEVATIONS
- A401 SECTIONS
- A501 INTERIOR ELEVATIONS & ASSEMBLIES
- A601 DETAILS
- A602 DETAILS
- A701 FIXTURES + FINISHES
- A801 RENDERINGS - REFERENCE ONLY

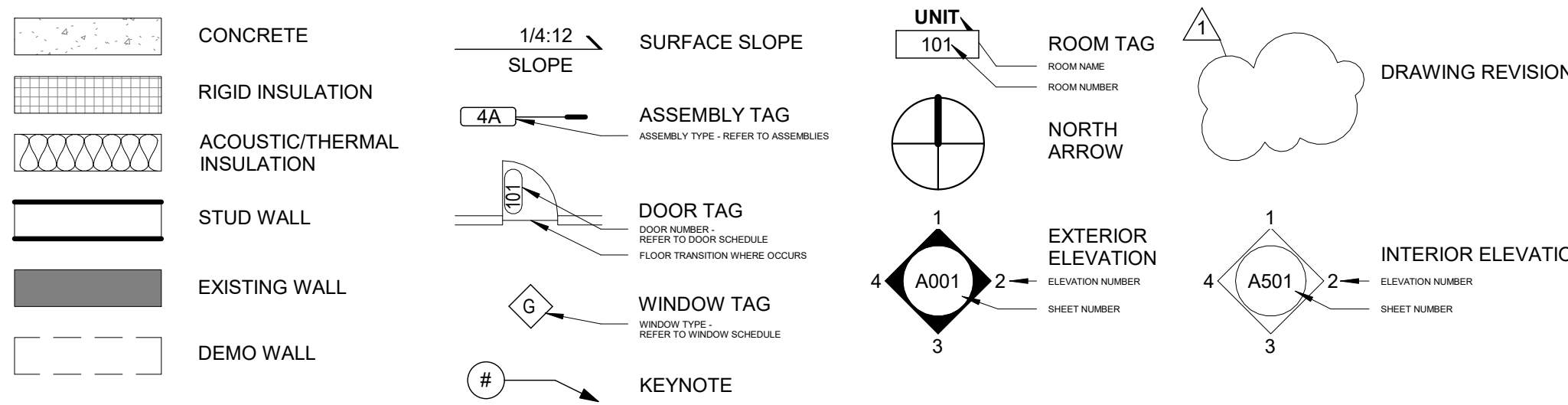
PROJECT DESCRIPTION

A SINGLE LEVEL DETACHED ADU

GENERAL NOTES

- A. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK.
- B. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- C. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF CONSTRUCTION UNTIL FINAL LATERAL AND VERTICAL CARRYING SYSTEMS ARE COMPLETED. DETAILS NOTED AS "TYP" APPLY IN ALL CASES UNLESS SPECIFICALLY REFERENCED. DETAILS THAT ARE SPECIFICALLY REFERENCED SHALL TAKE PRECEDENCE OVER DETAILS NOTED AS "TYP". SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.
- D. PROVIDE ACCESS PANELS AS REQUIRED. LOCATION, FINISH, AND TYPE SHALL BE APPROVED BY ARCHITECT PRIOR TO OBTAINING AND INSTALLING. ACCESS PANEL LOCATIONS NOT APPROVED BY ARCHITECT WILL BE SUBJECT TO MODIFICATION AT NO ADDITIONAL COST. PROVIDE RATED ACCESS PANELS WITH THE SAME RATINGS AS THE ASSEMBLY IN WHICH THEY ARE INSTALLED. ACCESS PANELS IN SHAFT WALLS, RATED FLOOR/CEILING OR RATED ROOF/CEILING SHALL BE SMOKE SEALED.
- E. ALL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE STOPPED ACCORDING TO THE AUTHORITY HAVING JURISDICTION'S REQUIREMENTS. RATED ASSEMBLIES SHALL BE CONSTRUCTED TO PREVENT THE MOVEMENT OF HOT FLAME OR GASES.
- F. ALL SAFETY GLAZING SHALL BE PERMANENTLY LABELED WITH THE MANUFACTURER'S NAME AND TEST APPROVAL INFORMATION. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE NATURAL OR PUBLIC DRAINAGE SYSTEM. AS CONSTRUCTION PROGRESSES AND UNEXPECTED (SEASONAL) CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED TO INSURE COMPLETE SILTATION CONTROL OF THE PROJECT. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS/HER ACTIVITY AND TO PROVIDE ADDITIONAL FACILITIES THAT MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES.
- G. PER ENERGY EFFICIENCY STANDARDS TABLE N1101.1(2), ADU CONSTRUCTION TO MEET ENVELOPE ENHANCEMENT MEASURE 2 - "HIGH EFFICIENCY ENVELOPE" (REFER TO ENERGY TABLE ON RIGHT), SPECIFIED U-VALUES ARE MET IN DETAILS AND ASSEMBLY DRAWINGS AND CONSERVATION MEASURE A - "HIGH EFFICIENCY HVAC SYSTEM" (SEE MINI-SPLIT UNIT ON PLANS AND ELEVATIONS).
- H. CARBON MONOXIDE ALARMS SHALL BE PROVIDED PER 2014 OREGON RESIDENTIAL SPECIALTY CODE SECTION R315.
- I. WORK PERFORMED BY PUBLIC UTILITY ENTITIES TO REMOVE OR RELOCATE EXISTING UTILITIES SHALL BE DONE AT THE PERMITEE'S EXPENSE.
- J. INTERPRETATIONS - THESE DOCUMENTS ARE IN PART DIAGRAMMATIC AND SUBJECT TO INTERPRETATION. THEY DO NOT NECESSARILY SHOW COMPLETE DETAILS OF CONSTRUCTION, WORK, OR MATERIALS. PERFORMANCE OR INSTALLATION, AND DO NOT NECESSARILY SHOW HOW CONSTRUCTION DETAILS OF OTHER ITEMS OF THE WORK MAY AFFECT ANY PARTICULAR INSTALLATION. THESE DETAILS MUST BE ASCERTAINED BY THE CONTRACTOR AND CORRELATED TO BRING THE PARTS TOGETHER AS A COMPLETED WHOLE. ANY DETAIL, DIMENSION, OR STATEMENT NOT COMPLETELY CLEAR TO THE CONTRACTOR SHALL BE REFERRED TO THE ARCHITECT FOR INTERPRETATION.
- K. CONTRACTOR'S QUESTIONS FOR THE DESIGN TEAM SHOULD UTILIZE THE REQUEST FOR INFORMATION (RFI) TEMPLATE PROVIDED. DESIGN TEAM REQUESTS THAT QUESTIONS ARE ASKED 14 DAYS AHEAD OF EXPECTED RESPONSE DATE, TO THE EXTENT POSSIBLE.
- L. ELECTRICAL, MECHANICAL, AND PLUMBING ARE DEFERRED SUBMITTALS. INSTALL ALL PRODUCTS PER MANUFACTURER RECOMMENDATIONS.
- M. CONTRACTOR TO VERIFY ALL ROUGH OPENING SIZES BEFORE ORDERING WINDOW AND DOOR PACKAGE.

LEGEND - PROJECT SYMBOLS



RESIDENTIAL ENERGY EFFICIENCY

WASHINGTON RESIDENTIAL CODE 2018 - MINIMUM PERFORMANCE REQUIREMENTS

TABLE R402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*

CLIMATE ZONE	5 AND MARINE 4
FENESTRATION U-FACTOR ^b	0.30
SKYLIGHT ^d U-FACTOR	0.50
GLAZED FENESTRATION SHGC ^{e,f}	NR
CEILING R-VALUE ^g	49
WOOD FRAME WALL ^{h,m,n} R-VALUE	21 int
Mass Wall R-Value ^l	21/21
FLOOR R-VALUE	30
BELOW-GRADE ^o WALL R-VALUE	10/15/21 int + TB
SLAB ^p R-VALUE & DEPTH	10, 2 ft

SECTION R406 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS

R406.1 Scope. This section establishes options for additional criteria to be met for one- and two-family dwellings and townhouses, as defined in Section 101.2 of the *International Residential Code* to demonstrate compliance with this code.

R406.2 Additional energy efficiency requirements (Mandatory). Each dwelling unit in a residential building shall comply with sufficient options from Table R406.2.1 to achieve the following minimum energy efficiency credits:

1. Single Dwelling Unit: 3.5 credits
 All dwelling units that are not included in #1 or #3.

Exception: Dwelling units serving R-2 occupancies shall require 2.5 credits.

2. Medium Dwelling Unit: 3.5 credits
 All dwelling units that are not included in #1 or #3.

Exception: Dwelling units serving R-2 occupancies shall require 2.5 credits.

3. Dwelling Unit: 4.5 credits
 Dwelling units exceeding 5000 square feet of conditioned floor area.

4. Dwelling Unit: 2.5 credits
 Dwelling units serving R-2 occupancies shall require 2.5 credits.

5. Dwelling Unit: 0.5 credits
 Dwelling units exceeding 500 square feet of conditioned floor area.

6. Dwelling Unit: 0.5 credits
 Dwelling units exceeding 500 square feet of conditioned floor area.

7. Dwelling Unit: 0.5 credits
 Dwelling units exceeding 500 square feet of conditioned floor area.

8. Dwelling Unit: 0.5 credits
 Dwelling units exceeding 500 square feet of conditioned floor area.

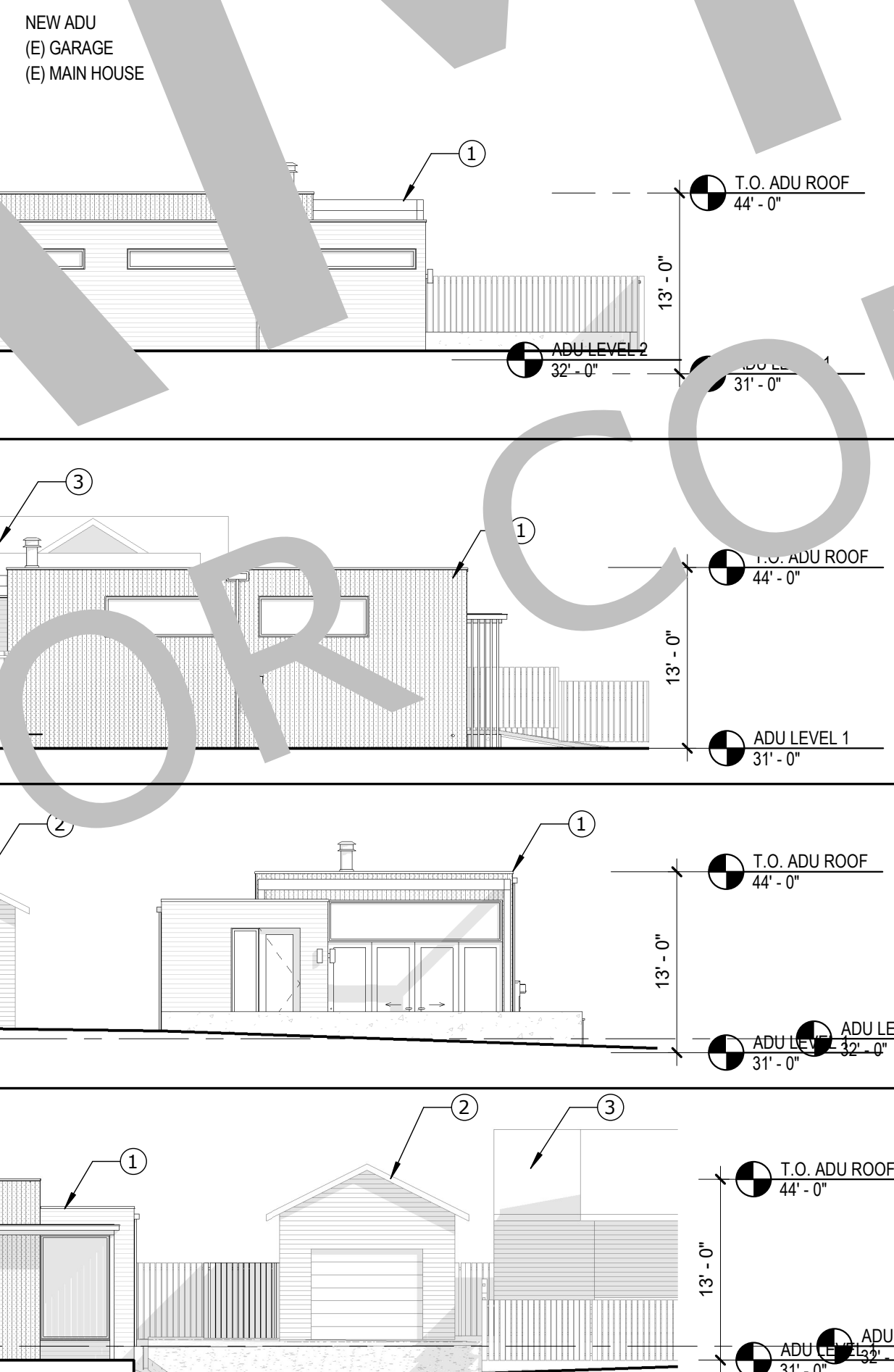
9. Dwelling Unit: 0.5 credits
 Dwelling units exceeding 500 square feet of conditioned floor area.

10. Dwelling Unit: 0.5 credits
 Dwelling units exceeding 500 square feet of conditioned floor area.

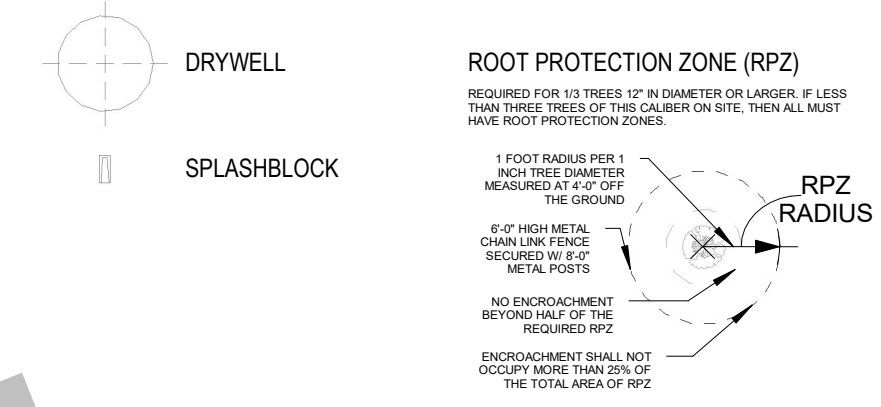
TABLE 406.2 ENERGY CREDITS

OPTION	CREDITS
1a. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1b. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1c. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1d. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1e. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1f. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1g. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1h. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1i. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1j. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1k. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1l. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1m. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1n. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1o. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1p. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1q. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1r. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1s. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1t. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1u. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1v. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1w. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1x. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1y. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
1z. Efficient Building Envelope (Prescriptive compliance with Section R402.1.1 with the following: Vertical fenestration U-factor < 0.30, Floor R-38, Slab on grade R-10, and under entire slab or on grade R-10) (See Section R402.1.1)	0.5
2a. High-Efficiency HVAC Equipment (Prescriptive compliance with Section R402.1.1 with the following: HVAC Equipment shall be a heat pump with minimum HSPF of 9.0) (See Section R402.1.1)	1.0
2b. High-Efficiency HVAC Equipment (Prescriptive compliance with Section R402.1.1 with the following: HVAC Equipment shall be a heat pump with minimum HSPF of 9.0) (See Section R402.1.1)	1.0
2c. High-Efficiency HVAC Equipment (Prescriptive compliance with Section R402.1.1 with the following: HVAC Equipment shall be a heat pump with minimum HSPF of 9.0) (See Section R402.1.1)	1.0
2d. High-Efficiency HVAC Equipment (Prescriptive compliance with Section R402.1.1 with the following: HVAC Equipment shall be a heat pump with minimum HSPF of 9.0) (See Section R402.1.1)	1.0
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2i. High-Efficiency HVAC Equipment (Prescriptive compliance with Section R402.1.1 with the following: HVAC Equipment shall be a heat pump with minimum HSPF of 9.0) (See Section R402.1.1)	1.0
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2k. High-Efficiency HVAC Equipment (Prescriptive compliance with Section R402.1.1 with the following: HVAC Equipment shall be a heat pump with minimum HSPF of 9.0) (See Section R402.1.1)	1.0
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2t. High-Efficiency HVAC Equipment (Prescriptive compliance with Section R402.1.1 with the following: HVAC Equipment shall be a heat pump with minimum HSPF of 9.0) (See Section R402.1.1)	1.0
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A001 - SITE ELEVATIONS NOTE BLOCK



LEGEND - SITE PLAN

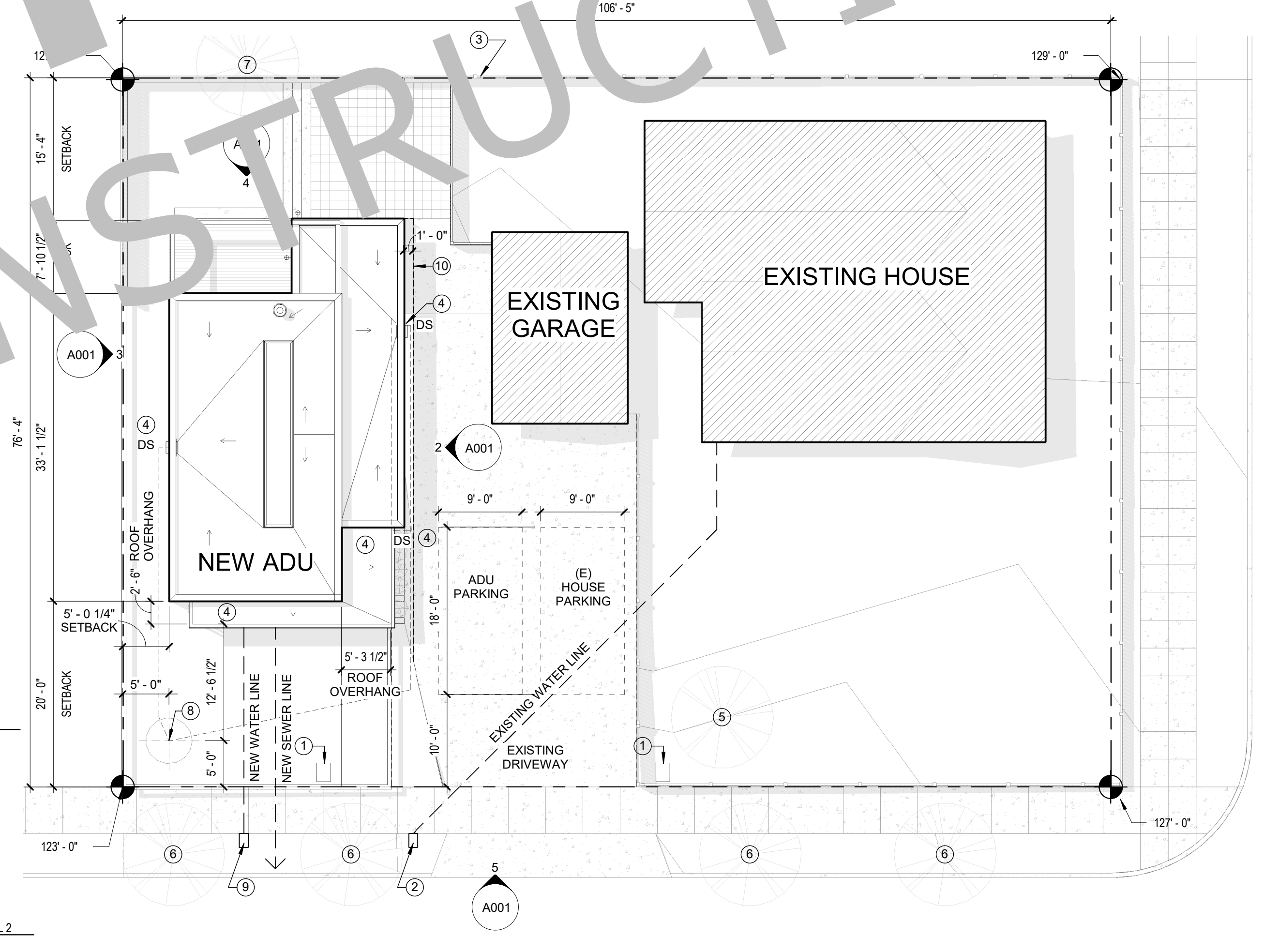


A001 - SITE PLAN NOTE BLOCK

- 1 NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES.
- 2 EXISTING WATER METER
- 3 IT IS THE OWNERS RESPONSIBILITY TO LOCATE THE PROPERTY LINE AND A SURVEY IS RECOMMENDED TO VERIFY DOWNSPOUT TO DRYWELL, REFERENCE DETAIL 6/A001, 5'-0" SETBACK FROM PROPERTY LINES AND 10'-0" SETBACK FROM BUILDING
- 4 EXISTING STREET TREE TO REMAIN - 12" DIA TRUNK
- 5 ALL TREES ON PLANTER STRIP ARE ~3-4" DIAMETER CRABAPPLE TREES
- 6 EXISTING STREET TREE TO REMAIN - LARGE 12" DIA TRUNK
- 7 28" DIA. X 15' DEET DRYWELL TO COVER 3,000 SF OF IMPERVIOUS AREA
- 8 NEW WATER METER
- 9 CUT BACK EXISTING CONCRETE DRIVEWAY 12" TO ACCOMMODATE PLANTING STRIP BETWEEN ADU AND DRIVEWAY.

LOT COVERAGE

LOT AREA = 8,056 SF
 ADU AREA = 770 SF
 PROPERTY AREA = 8,056 SF
 PARCEL # = 381240-0895



6 DRYWELL DET NTS

5 SITE - SOUTH 1" = 10'-0"

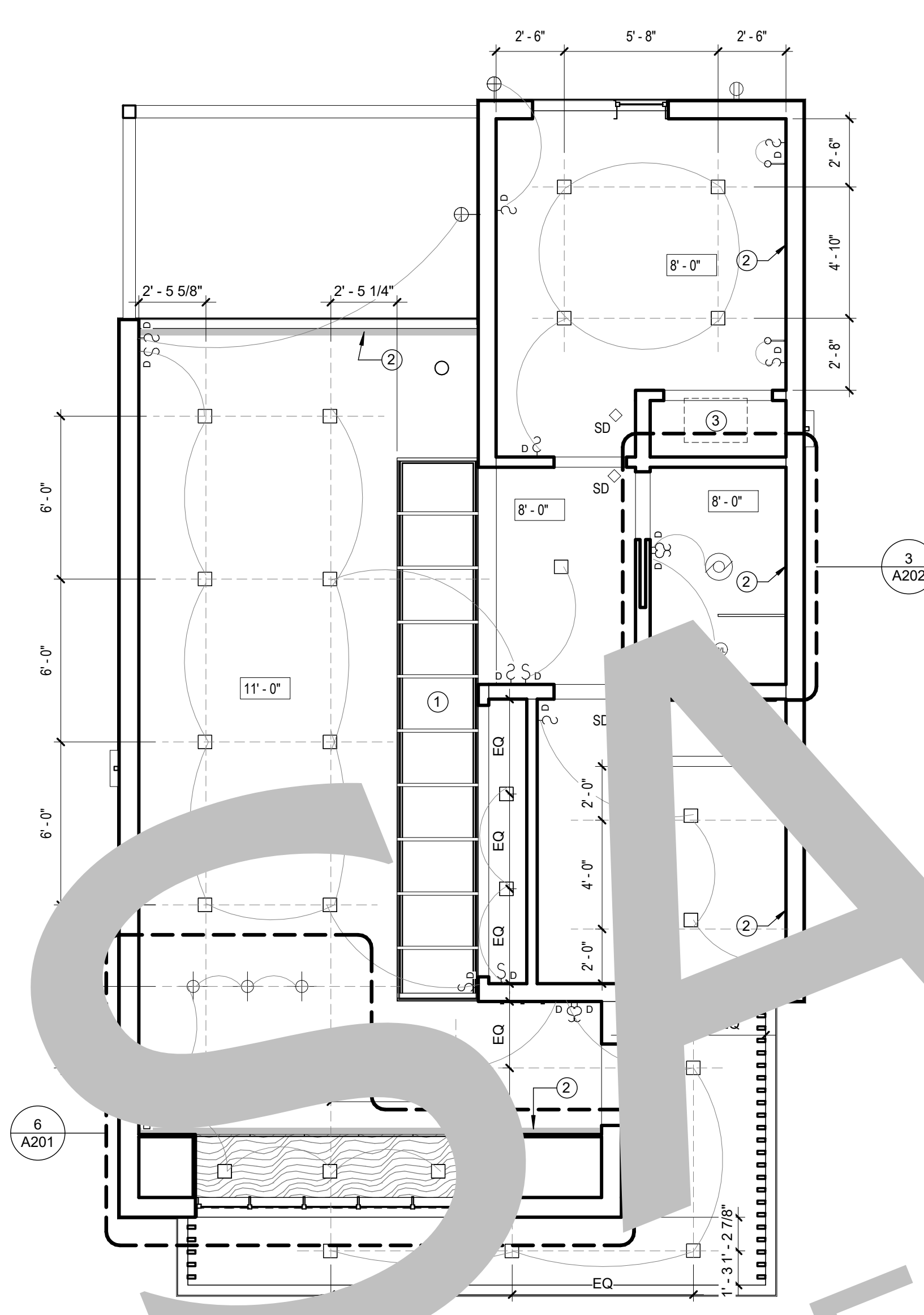
1 SITE PLAN 1" = 10'-0"

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A001

3'-0"
 (5 RISERS @ 6" EACH,
 4 TREADS @ 12" EACH)



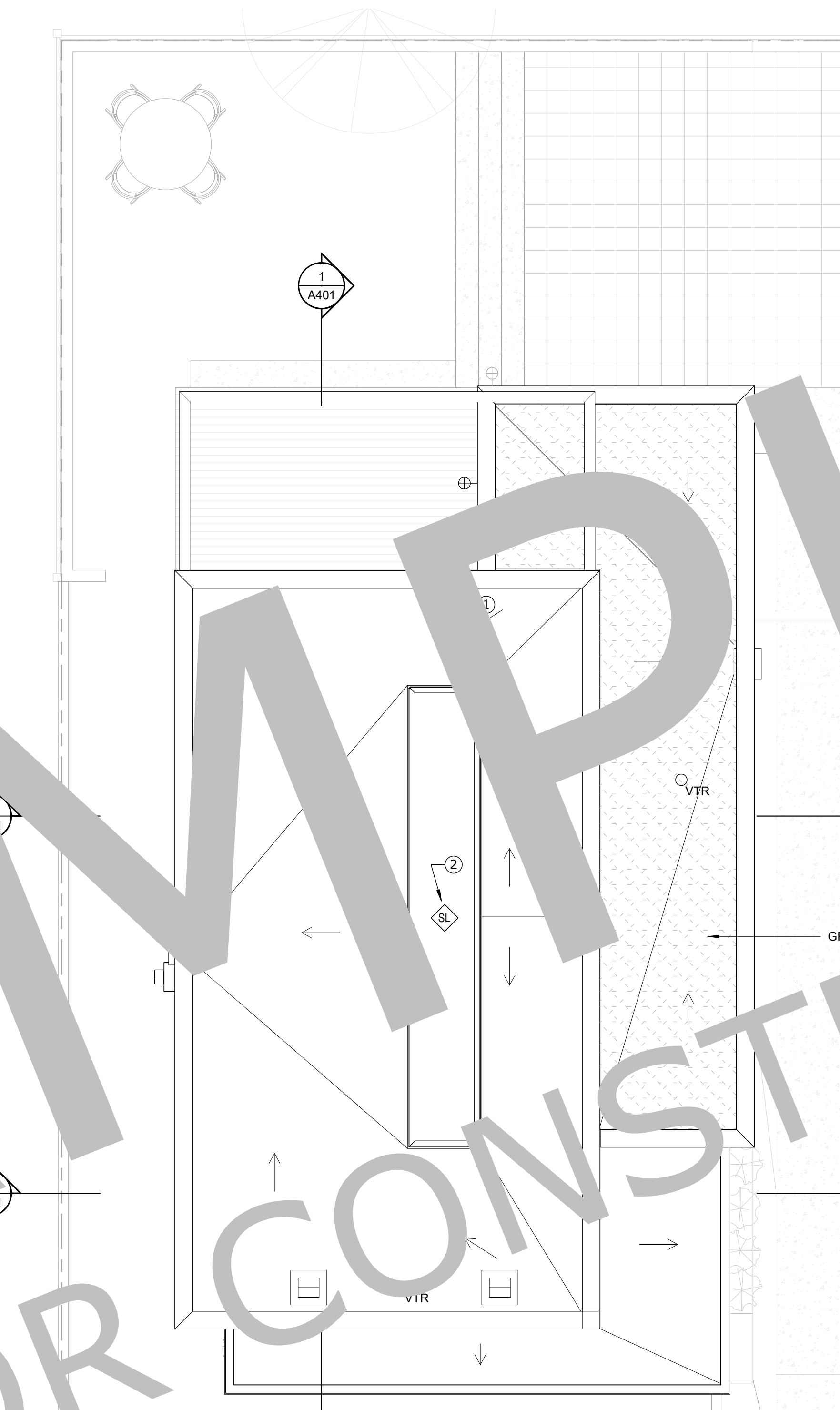
3 LEVEL 1 RCP
 1/4" = 1'-0"

LEGEND - RCP

- LED FLUSH MOUNTED DOWNLIGHT
- ⊙ WET LOCATION RECESSED DOWNLIGHT
- ⊕ WALL SCONCE
- ⊕ SUSPENDED PENDANT FIXTURE
- SD COMBO CARBON MONOXIDE & SMOKE DETECTOR
- ⊕ COMBINATION EXHAUST FAN & RECESSED SHOWER DOWNLIGHT
- 9'-0" CEILING TAG - CEILING HEIGHT RELATIVE TO FINISH FLOOR
- ⊕ SWITCH, 3-WAY, DIMMER, 3-WAY DIMMER, TIMER
 ALL SWITCHES TO BE MOUNTED 4'-0" ABOVE FF UNLESS OTHERWISE NOTED
 EXTERIOR 220V OUTLET

A102 - RCP NOTE BLOCK

- 1 SKYLIGHT WITH EXPOSED STRUCTURE BELOW
- 2 THIN DIFFUSER CONNECTED TO DUCTED MINI-SPLIT SYSTEM
- 3 MINI-SPLIT UNIT LOCATED IN BETWEEN ROOF JOISTS



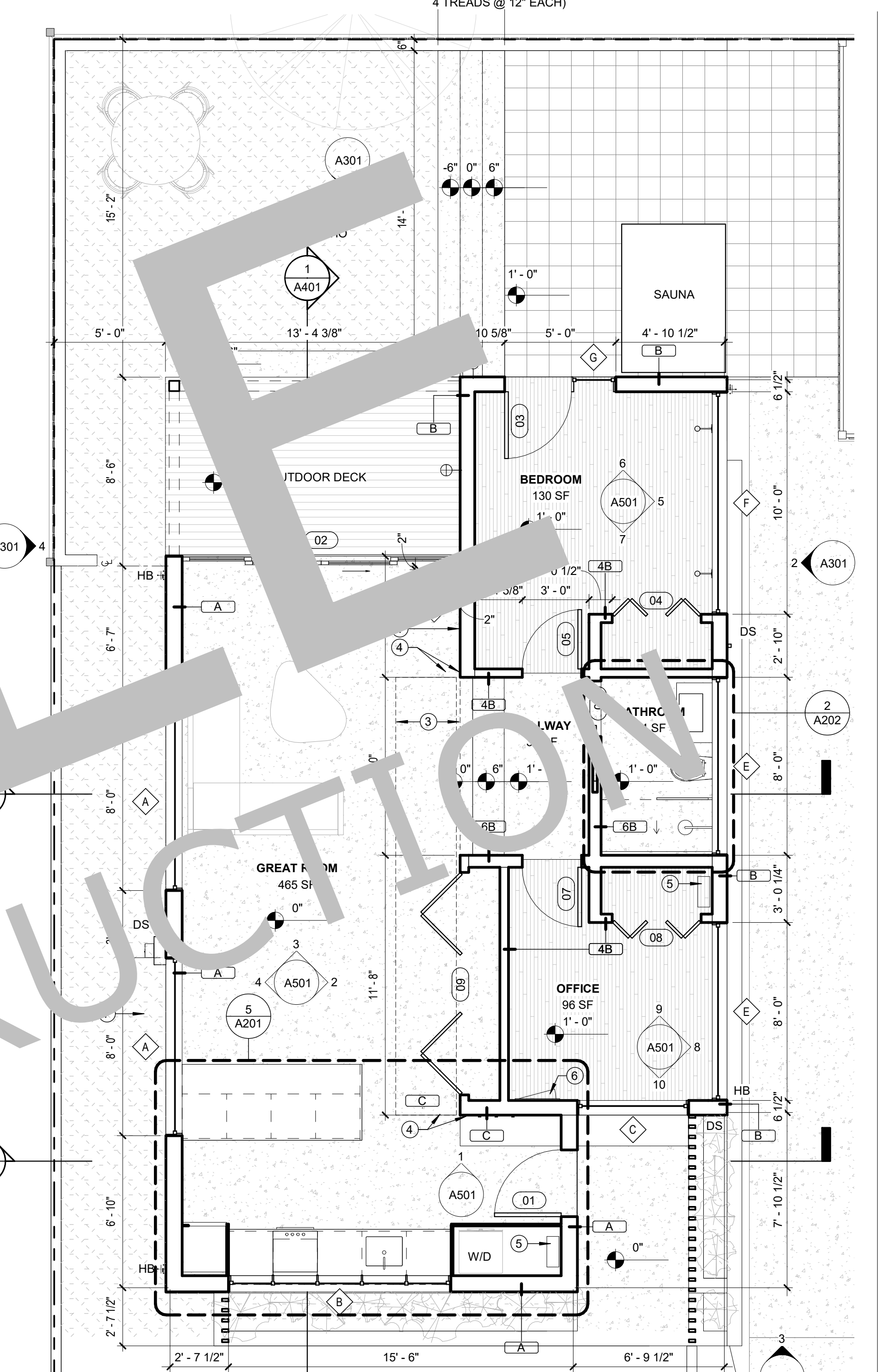
2 ROOF PLAN
 1/4" = 1'-0"

LEGEND - ROOF PLAN

- ▲ ROOF CRICKET
- VTR VENT THROUGH ROOF
- ALUMINUM ROOF VENT CAP
- ROOF SLOPE 1/2 / 12, GC TO COORDINATE WITH ROOFING MANUFACTURER

A103 - ROOF PLAN NOTE BLOCK

- 1 FIREPLACE CHIMNEY, REF MANUFACTURER
- 2 SKYLIGHT, REF OPENING SCHEDULE



1 LEVEL 1 PLAN
 1/4" = 1'-0"

LEGEND - FLOOR PLAN

- ▨ POLISHED CONCRETE SLAB ON GRADE FLOOR
- ▨ ENGINEERED WOOD FLOORING, REF A701
- ▨ SOLID WOOD DECK
- ▨ PERMEABLE PAVERS 1X1 ON 4" LAYER OF COMPACTED BASE
- ▨ LANDSCAPE AREA
- HB HOSE BIB

A101 - PLAN NOTE BLOCK

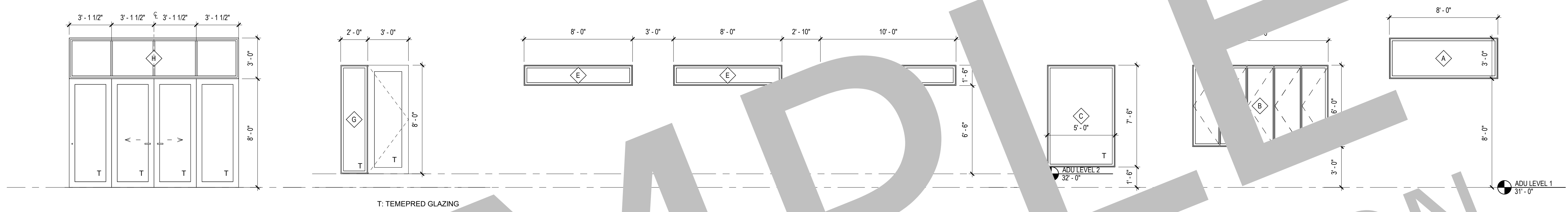
- 1 INTERIOR WOOD WALL, REF INTERIOR ELEVATION
- 2 INDOOR FIREPLACE FIXTURE
- 3 SKYLIGHT ABOVE, REF OPENING SCHEDULE
- 4 ALIGN EDGE OF SKYLIGHT TO END OF WALL, TYP
- 5 ON DEMAND WATER HEATER
- 6 ELECTRICAL PANEL
- 7 ELECTRICAL METER

*CONTRACTOR SHALL VERIFY ROUGH OPENING DIMENSIONS OF DOORS AND WINDOWS PRIOR TO ORDERING

WINDOW + SKYLIGHT SCHEDULE*

Type Mark	Rough Width	Rough Height	U Value	Manufacturer	Model	Sill Height	Tempered (Y/N)	HARDWARE	Operability	Glazing	Notes
A	8'-0"	3'-0"	U≤0.28	JELDWN EPICVUE, BLACK ANODIZED EXTERIOR FINISH, WHITE OAK INT. CLEAR LACQUER FINISH		8'-0"		POWDER-COAT BLACK FINISH	AWNING	SANDBLASTED	CONTEMPORARY FLAT CASING
B	10'-0"	6'-0"	U≤0.28	JELDWN EPICVUE, BLACK ANODIZED EXTERIOR FINISH, WHITE OAK INT. CLEAR LACQUER FINISH		3'-0"		POWDER-COAT BLACK FINISH	CASEMENT	CLEAR	CONTEMPORARY FLAT CASING
C	5'-0"	7'-6"	U≤0.28	JELDWN EPICVUE, BLACK ANODIZED EXTERIOR FINISH, WHITE OAK INT. CLEAR LACQUER FINISH		6'-6"	Yes	POWDER-COAT BLACK FINISH	FIXED	CLEAR	CONTEMPORARY FLAT CASING
E	8'-0"	1'-6"	U≤0.28	JELDWN EPICVUE, BLACK ANODIZED EXTERIOR FINISH, WHITE OAK INT. CLEAR LACQUER FINISH		6'-6"		POWDER-COAT BLACK FINISH	AWNING	SANDBLASTED	CONTEMPORARY FLAT CASING
F	10'-0"	1'-6"	U≤0.28	JELDWN EPICVUE, BLACK ANODIZED EXTERIOR FINISH, WHITE OAK INT. CLEAR LACQUER FINISH		6'-6"		POWDER-COAT BLACK FINISH	AWNING	SANDBLASTED	CONTEMPORARY FLAT CASING
G	2'-0"	8'-0"	U≤0.28	MATCH FRONT DOOR		0"	Yes	POWDER-COAT BLACK FINISH	FIXED	CLEAR	CONTEMPORARY FLAT CASING
H	12'-6"	3'-0"	U≤0.28	JELDWN EPICVUE, BLACK ANODIZED EXTERIOR FINISH, WHITE OAK INT. CLEAR LACQUER FINISH		6'-0"		POWDER-COAT BLACK FINISH	AWNING	CLEAR	CONTEMPORARY FLAT CASING
SL	3'-0"	20'-0"	U≤0.28	VELUX, CLEAR ANODIZED ALUMINUM	VSE			NA	FIXED	CLEAR	

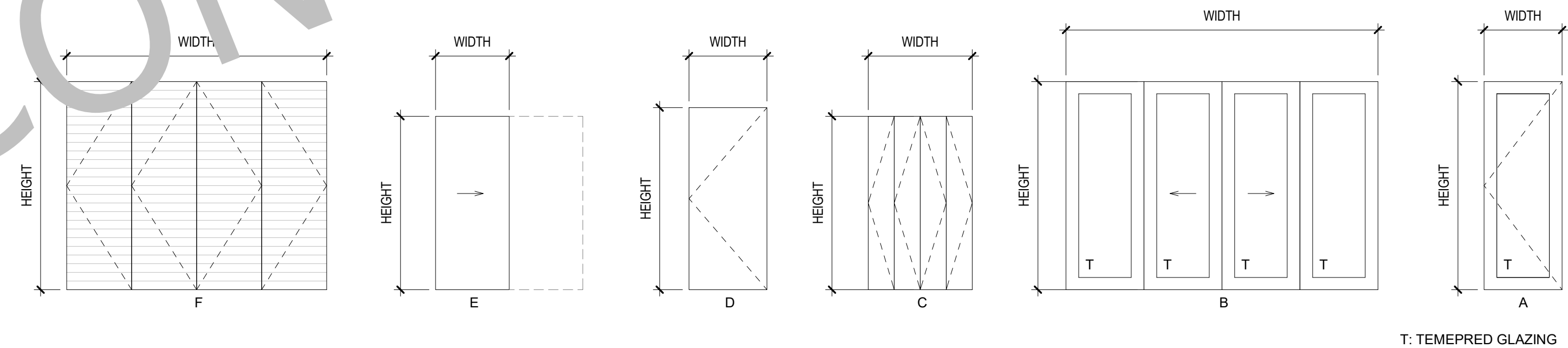
LEGEND- WINDOW TYPES



DOOR SCHEDULE*

MARK	DOOR OPENING SIZE		TYPE	MATERIAL/ FINISH	HDWR	GLAZING	NOTES
	W	H					
01	3'-0"	8'-0"	A	JELDWN EPICVUE, BLACK ANODIZED EXTERIOR FINISH, WHITE OAK INT. CLEAR LACQUER FINISH	POWDER-COAT BLACK	Y/ TEMPERED	
02	12'-6"	8'-0"	B	JELDWN EPICVUE, BLACK ANODIZED EXTERIOR FINISH, WHITE OAK INT. CLEAR LACQUER FINISH	POWDER-COAT BLACK	Y/ TEMPERED	
03	3'-0"	8'-0"	A	JELDWN EPICVUE, BLACK ANODIZED EXTERIOR FINISH, WHITE OAK INT. CLEAR LACQUER FINISH	POWDER-COAT BLACK	Y/ TEMPERED	
04	4'-0"	6'-8"	C	SOLID OAK	POWDER-COAT BLACK		
05	2'-8"	6'-8"	D	SOLID OAK	POWDER-COAT BLACK		
06	2'-6"	6'-8"	E	SOLID OAK	POWDER-COAT BLACK		
07	2'-8"	6'-8"	D	SOLID OAK	POWDER-COAT BLACK		
08	4'-0"	6'-8"	C	SOLID OAK	POWDER-COAT BLACK		
09	10'-0"	8'-0"	F	CUSTOM - CEDAR SLATS TO MATCH ADJACENT CEDAR WALLS	POWDER-COAT BLACK		

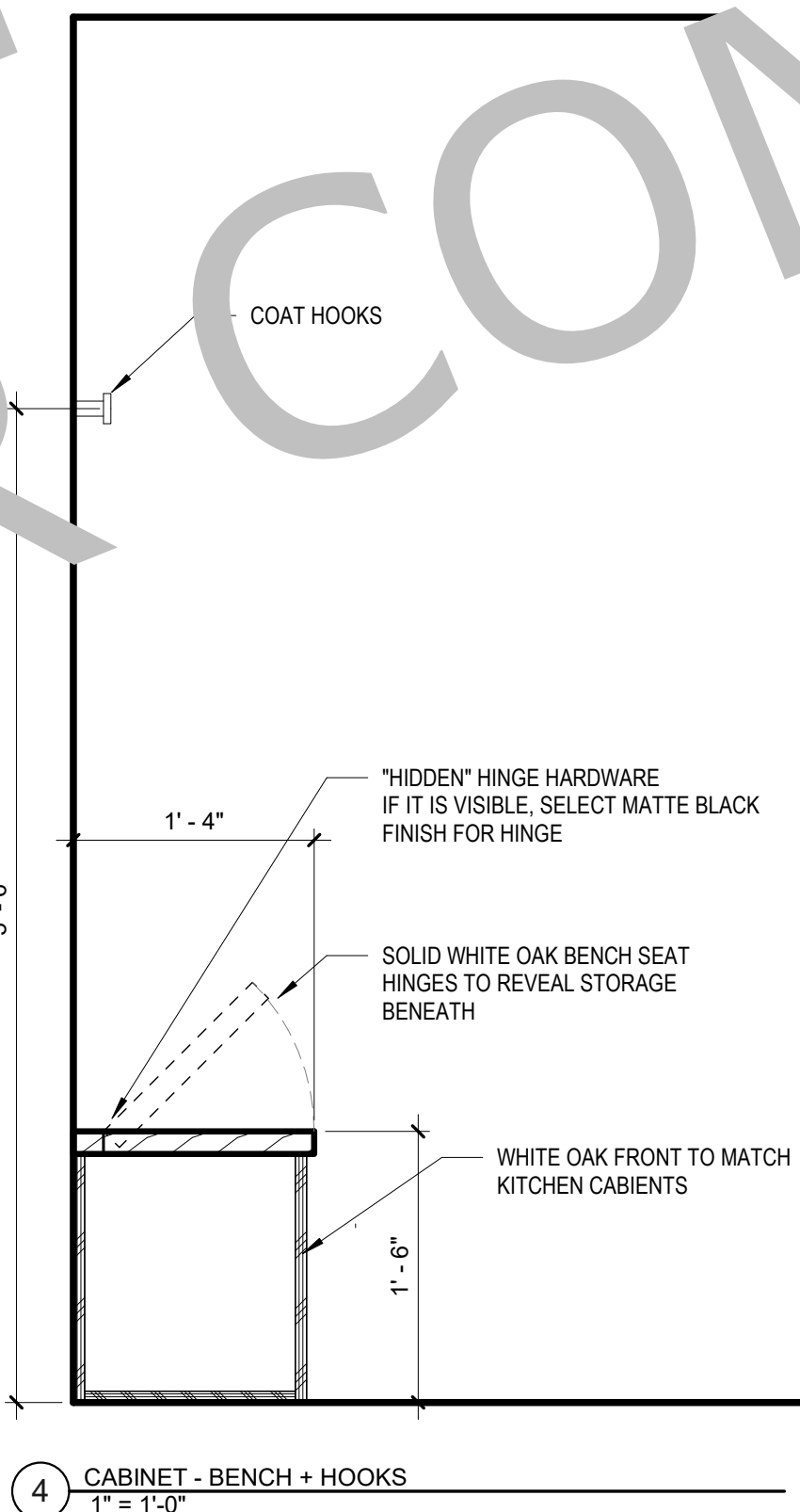
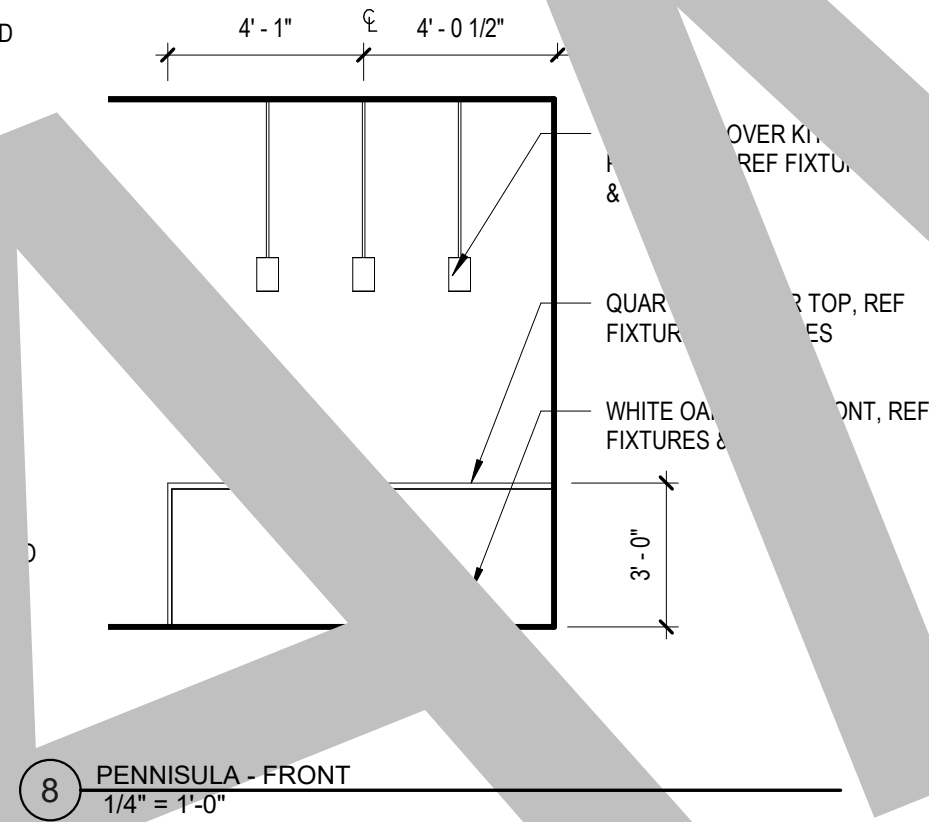
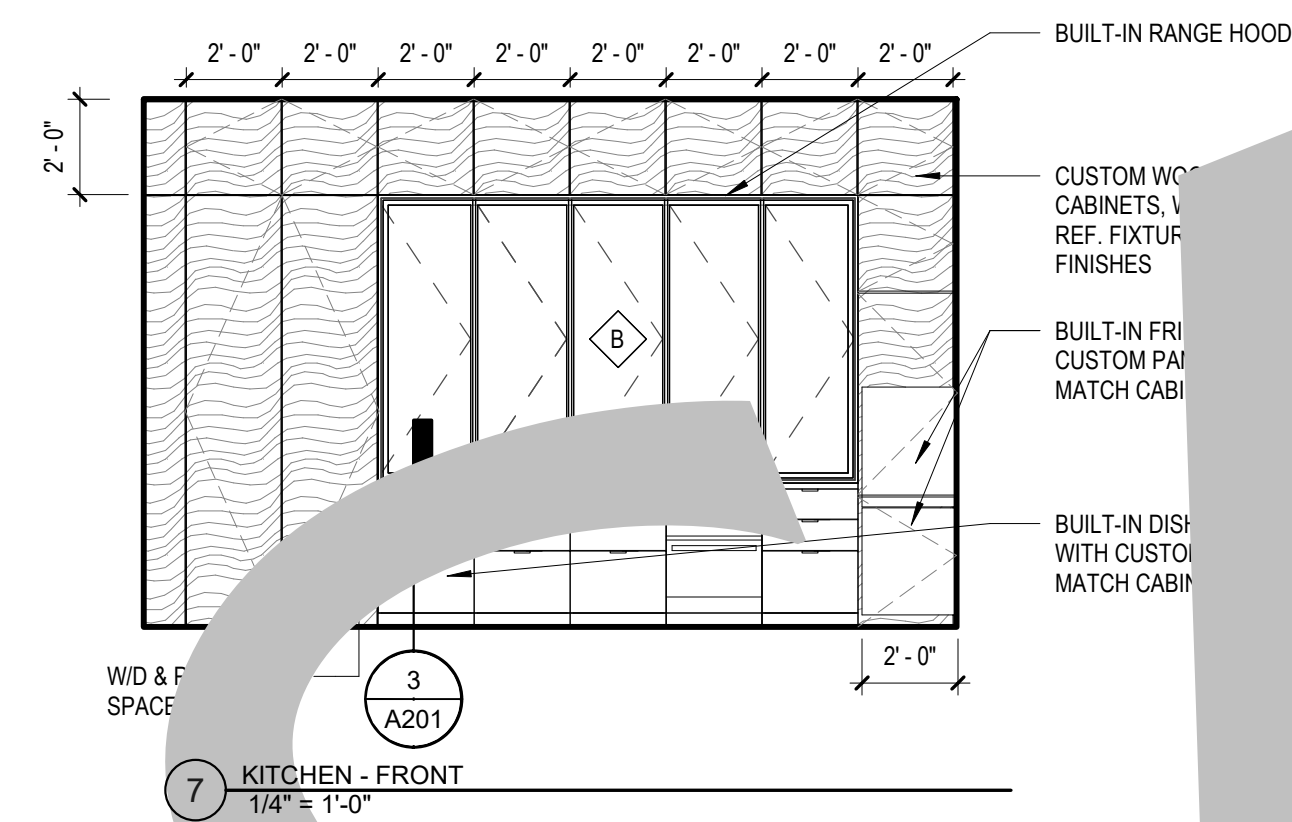
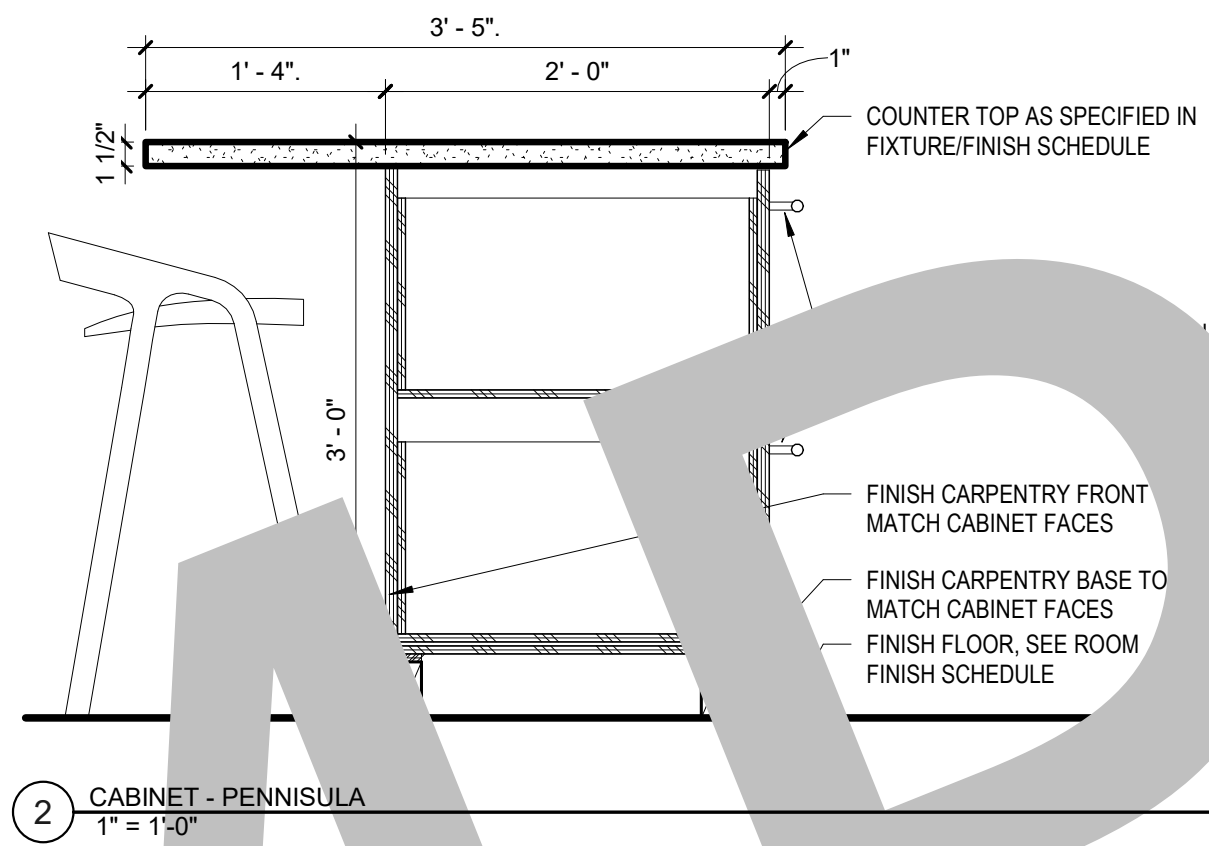
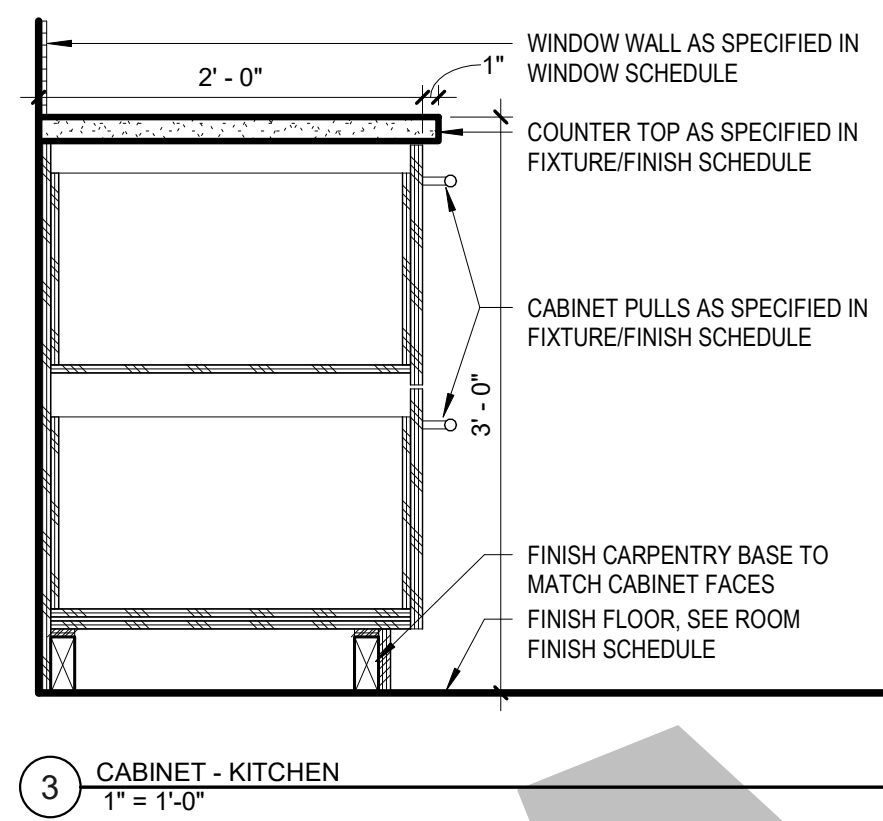
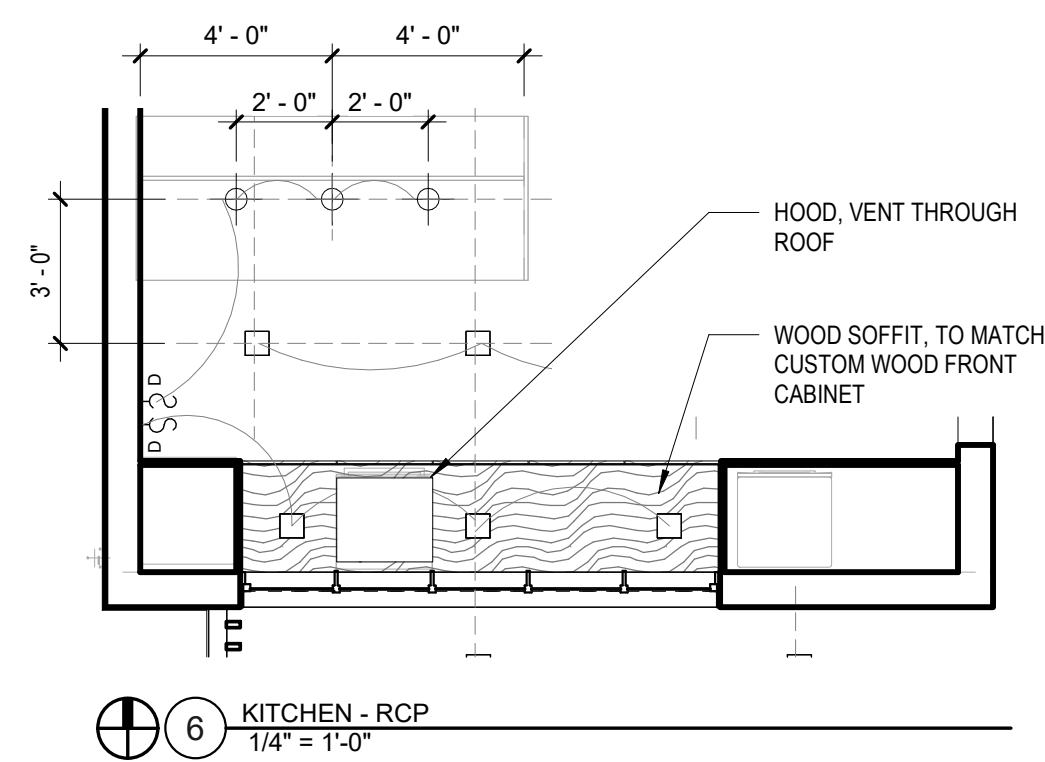
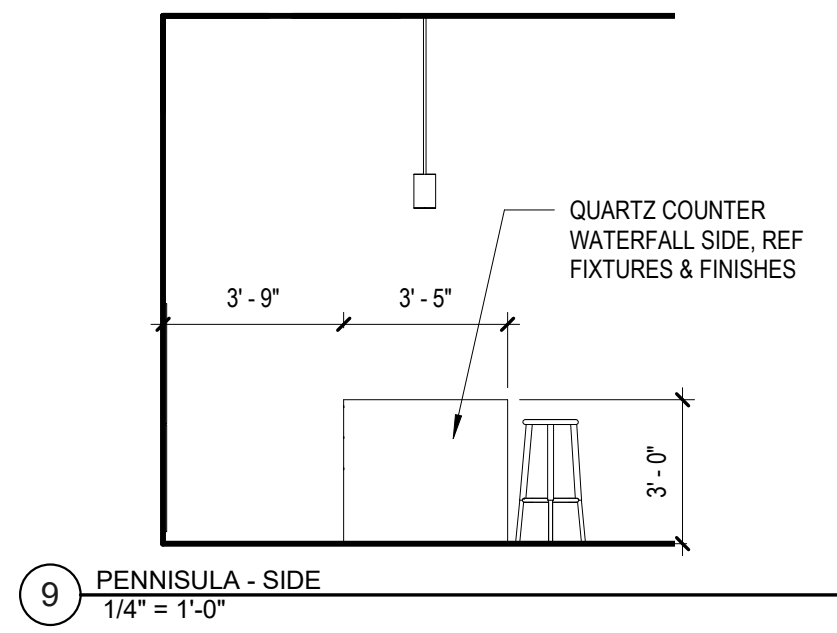
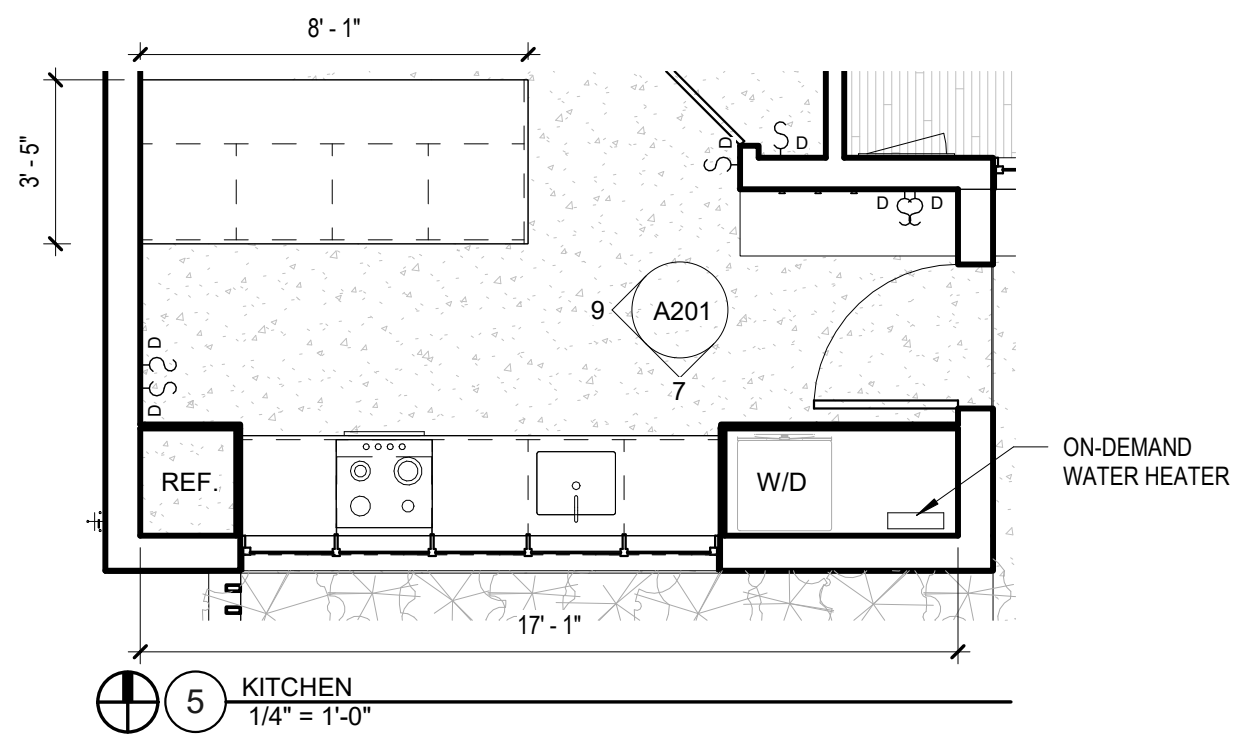
LEGEND - DOOR TYPES



ROOM FINISH SCHEDULE

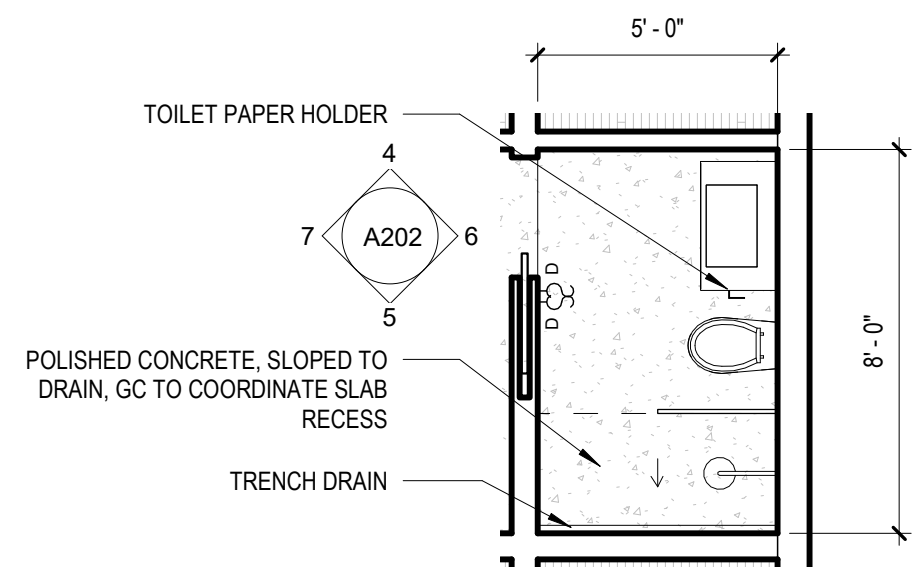
LEVEL	NAME	FLOOR		WALLS				CEILING		NOTES				
		FINISH	BASE	NORTH	WEST	SOUTH	EAST	MTL	FINISH					
ADU LEVEL 1	GREAT ROOM	POLISHED CONCRETE	1/2" REVEAL	WINDOW WALL		GWB	LEVEL 4 FINISH, SMOOTH, PT-1	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	WOOD CLAD - CEDAR SIDING	CLEAR COAT	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	
ADU LEVEL 1	OFFICE	ENGINEERED WOOD FLOOR	1/2" REVEAL	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	
ADU LEVEL 1	BEDROOM	ENGINEERED WOOD FLOOR	1/2" REVEAL	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	
ADU LEVEL 1	BATHROOM	POLISHED CONCRETE, SLOPED TO DRAIN IN SHOWER	-	PORCELAIN TILE		PORCELAIN TILE		PORCELAIN TILE		PORCELAIN TILE		GWB	LEVEL 4 FINISH, SMOOTH, EPOXY PT-1	
ADU LEVEL 1	HALLWAY	POLISHED CONCRETE	1/2" REVEAL	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	GWB	LEVEL 4 FINISH, SMOOTH, PT-1	

GENERAL NOTE:
 CONTRACTOR TO PROVIDE ARCHITECT SHOP DRAWINGS FOR ALL CABINETS AND COUNTERS FOR APPROVAL PRIOR TO FABRICATION AND INSTALL.

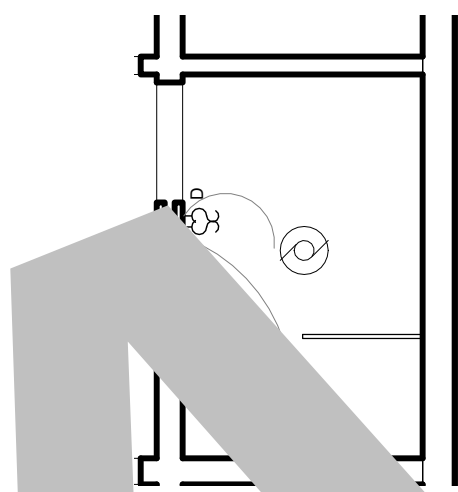


10 KITCHEN - 3D REFERENCE

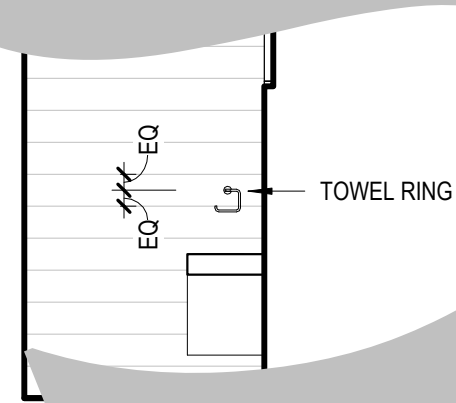
<p>KITCHEN SINK MR DIRECT TRUGRANITE GRANITE COMPOSITE 21 5/8" x 16 7/8" UNDERMOUNT WHITE</p>	<p>KITCHEN FAUCET DELTA TRINISC 9159-BL-DST MATTE BLACK</p>	<p>KITCHEN COUNTER CAESARSTONE QUARTZ FRESH CONCRETE (OFF WHITE), WATERFALL END OF ISLAND, REGULAR SQUARED EDGES</p>
<p>KITCHEN CABINETS AND PANELS CUSTOM WHITE OAK CABINETS AND PANELS FOR BUILT-IN APPLIANCES GRAIN VERTICAL</p>	<p>BUILT-IN RANGE HOOD FABER 21" INCA... REMOT... S... LESS</p>	<p>CABINET HARDWARE TOP KNOBS MULLER COLLECTION EUROPA TAB PULL, BLACK TK504BLK 8"</p>
<p>PENDANT LIGHTING LUCIFER LIGHTING CYLINDER CP3-D LED SUSPENDED MOUNT PENDANT MATTE BLACK FINISH http://www.luciferlighting.com/Products/Surface-Mount/CP3-D</p>	<p>ELECTRIC COOKTOP EMPAVA EMPV-IDC24 24" ELECTRIC INDUCTION 4 BURNER SMOOTH SURFACE TEMPERED GLASS</p>	<p>UNDER CABINET LIGHTS LED WAVES PR15 ULTRA-THIN 4" LED Recessed Dimmable Kit (Black Finish)</p>
<p>FRIDGE BOSCH 800 Series 24" Built-in Two Door Bottom Freezer Refrigerator with Home Connect, B09IB81NSP, Custom Panel https://www.bosch-home.com/us/products/refrigerators/bottom-freezer/built-in/B09IB81NSP?breadcrumb=bottom-freezer_us \$2199</p>	<p>ELECTRIC OVEN BOSCH 500 Series 24" Single Wall Oven with Home Connect, HBE5452UC, Stainless Steel https://www.bosch-home.com/us/products/cooking-baking/wall-ovens/single-ovens/HBE5452UC?breadcrumb=builtoven_us \$2099</p>	<p>DISHWASHER BOSCH 800 Series 24" Panel Ready Dishwasher SHVM98W73N Custom Panel Ready (Panel Not Included) https://www.bosch-home.com/us/products/dishwashers/top-controls/SHVM98W73N?breadcrumb=custompanel_us \$1249</p>



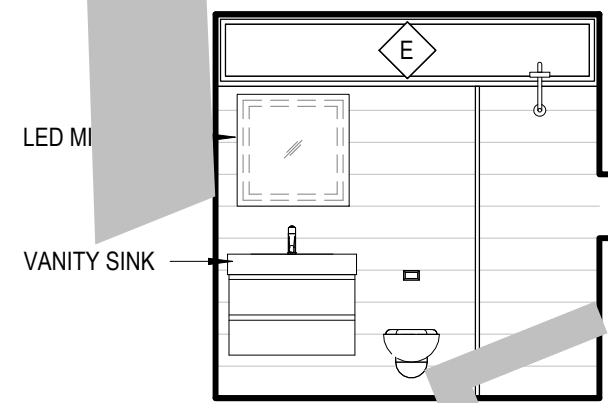
2 BATHROOM
1/4" = 1'-0"



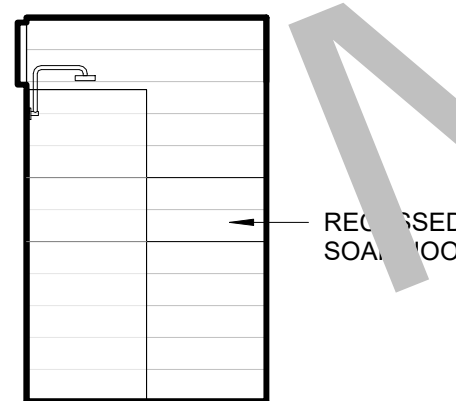
3 BATHROOM - RCP
1/4" = 1'-0"



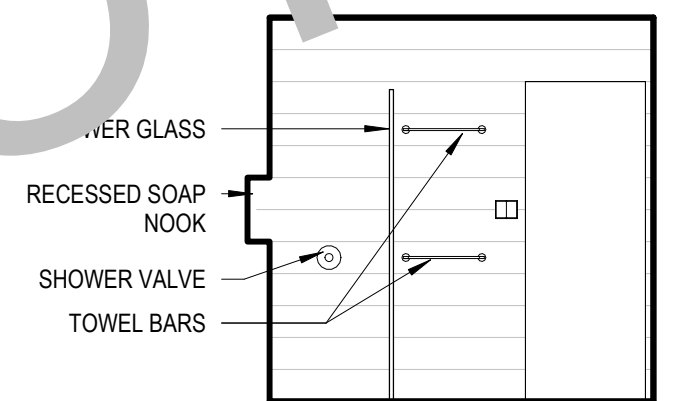
4 BATHROOM - N
1/4" = 1'-0"



6 BATHROOM - E
1/4" = 1'-0"



5 BATHROOM - S
1/4" = 1'-0"



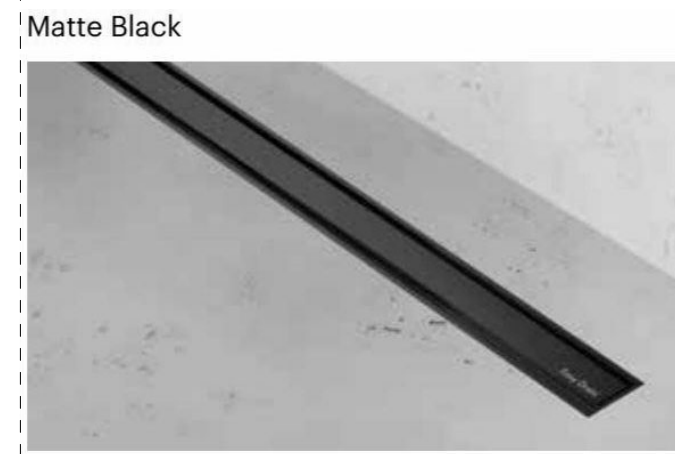
7 BATHROOM - W
1/4" = 1'-0"



LED MIRROR
HARMONIA BATHROOM MIRROR
W/ DIMMABLE LIGHTING
64 W LED
32"x32"x2"



BATHROOM FAN + LIGHT
HOME NETWORKS
DECORATIVE WHITE 100 CFM BLUETOOTH
STEREO SPEAKER EXHAUST FAN W/ LED LIGHT +
REMOTE
HOME DEPOT



TRENCH DRAIN
EASY DRAIN XS
Matte Black
<https://www.easydrain.com/design-shower-drains/series/xs/>
https://www.easydrain.com/app/uploads/2016/04/07-Xs_global_2016.pdf



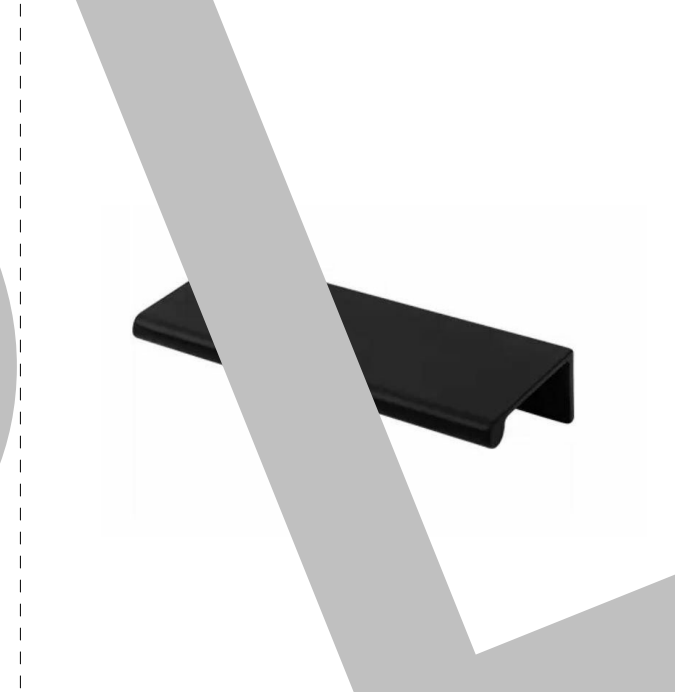
CONCRETE FLOORING - LEVEL 1
FINISHED CONCRETE
W/ CLEAR COAT, NO TINT



BATHROOM FAUCET
DELTA TRINSC
MPU
BLACK



TOILET POP UP
DELTA TRINSC
BLACK



VANITY
TOP KNOBS
MERCER COLLECTION
EUROPA TAB PULL, BLACK
TK504BLK
8"



VANITY SINK
GODMORNING SINK CABINET W/ 2
DRAWERS
KOEENA CUSTOM WOOD FRONT
PLAIN SAWN WALNUT
33"Wx19.25"Dx25.25"H



TOWEL RING
DELTA TRINSC
759460
MATTE BLACK



TOWEL BAR
DELTA TRINSC
24"
MATTE BLACK



SHOWER ARM
VALE ROUND GOOSE NECK
WALL MOUNTED
VALE-SA0530-B
MATTE BLACK



SHOWER HEAD
DELTA RAINCAN 5-SETTING
52668-BL
MATTE BLACK



SHOWER GLASS
GLASS WAREHOUSE
GW-SFP-30-MB
30"x78"
FRAMELESS FIXED GLASS PANEL
MATTE BLACK



TOILET
DURAVIT
Darling New Toilet wall mounted
Model-No. 254409
Toilet seat and cover #006332
https://www.duravit.com/products/all_series/darling_new.com-en.html?product=592287



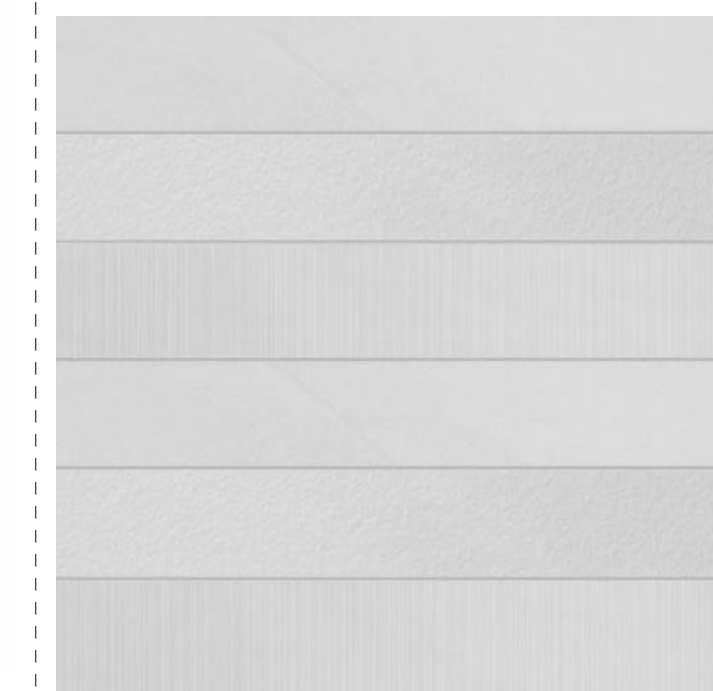
TOILET BUTTONS
GEBERIT
SIGMA30
DUAL-FLUSH PLATES FOR SIGMA
SERIES IN-WALL TOILET SYSTEMS
115.883.KM.1 - Black with polished chrome accent



TOILET ROLL HOLDER
DELTA TRINSC
759500-BL
MATTE BLACK



SHOWER TRIM
DELTA TRINSC
T14059-BL
MATTE BLACK

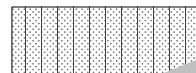



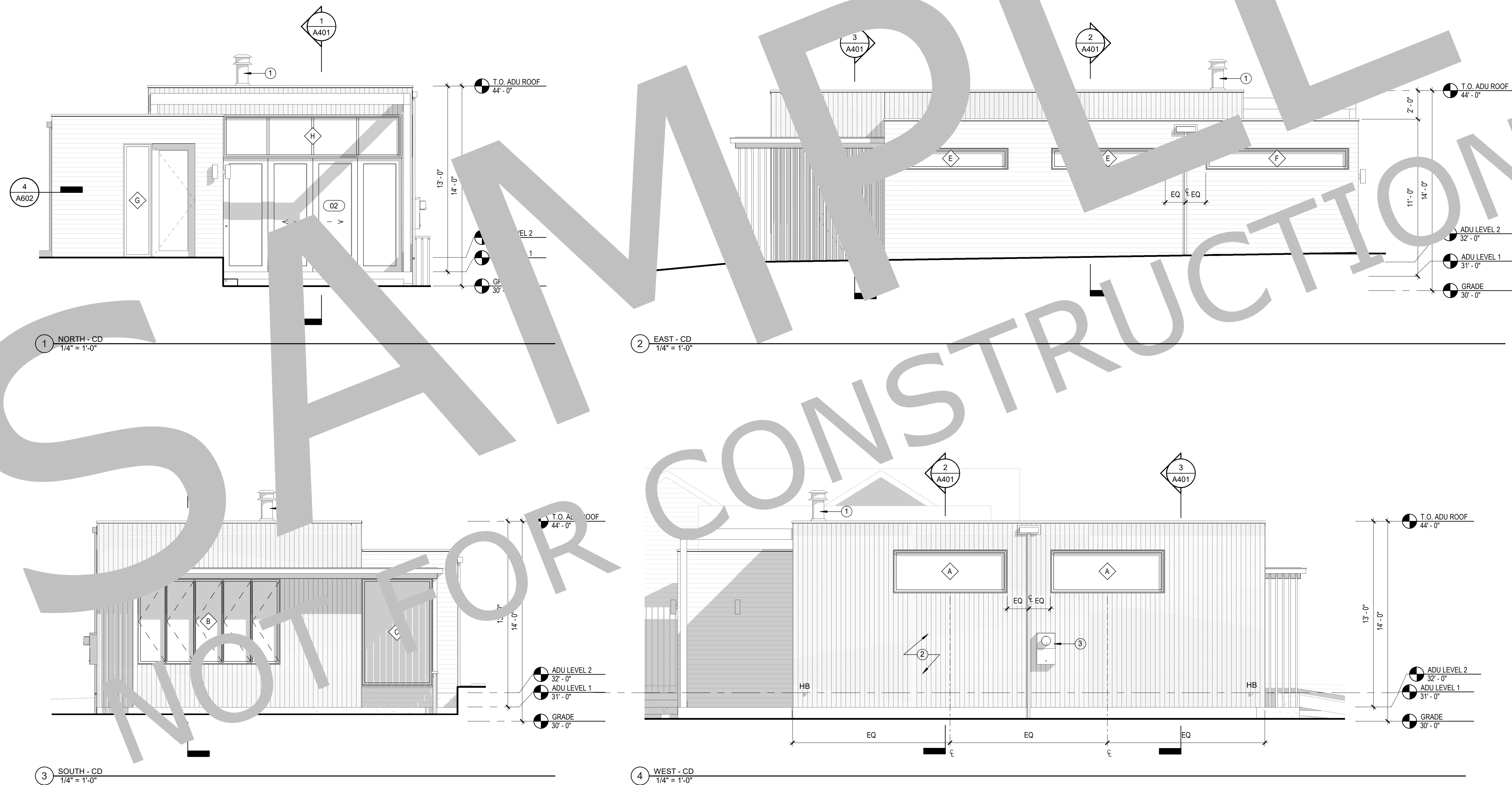
BATHROOM WALL TILE
Ann Sacks
Duet Field Tile 8x48
WHITE MIX

A301 - ELEVATION NOTE BLOCK

- 1 FIREPLACE CHIMNEY
- 2 LOCATE EXTERIOR WALL MOUNTED UTILITIES THIS ELEVATION. NOTIFY ARCHITECT BEFORE LOCATING UTILITIES ON ANY OTHER LOCATION.
- 3 ELECTRIC METER

LEGEND - EXTERIOR ELEVATIONS

-  VERTICAL T&G SHOU SUGI BAN CEDAR SIDING, REF FFE
-  HORIZONTAL T&G CEDAR SIDING, WHITE WASH, CLEAR SEALED, REF FFE



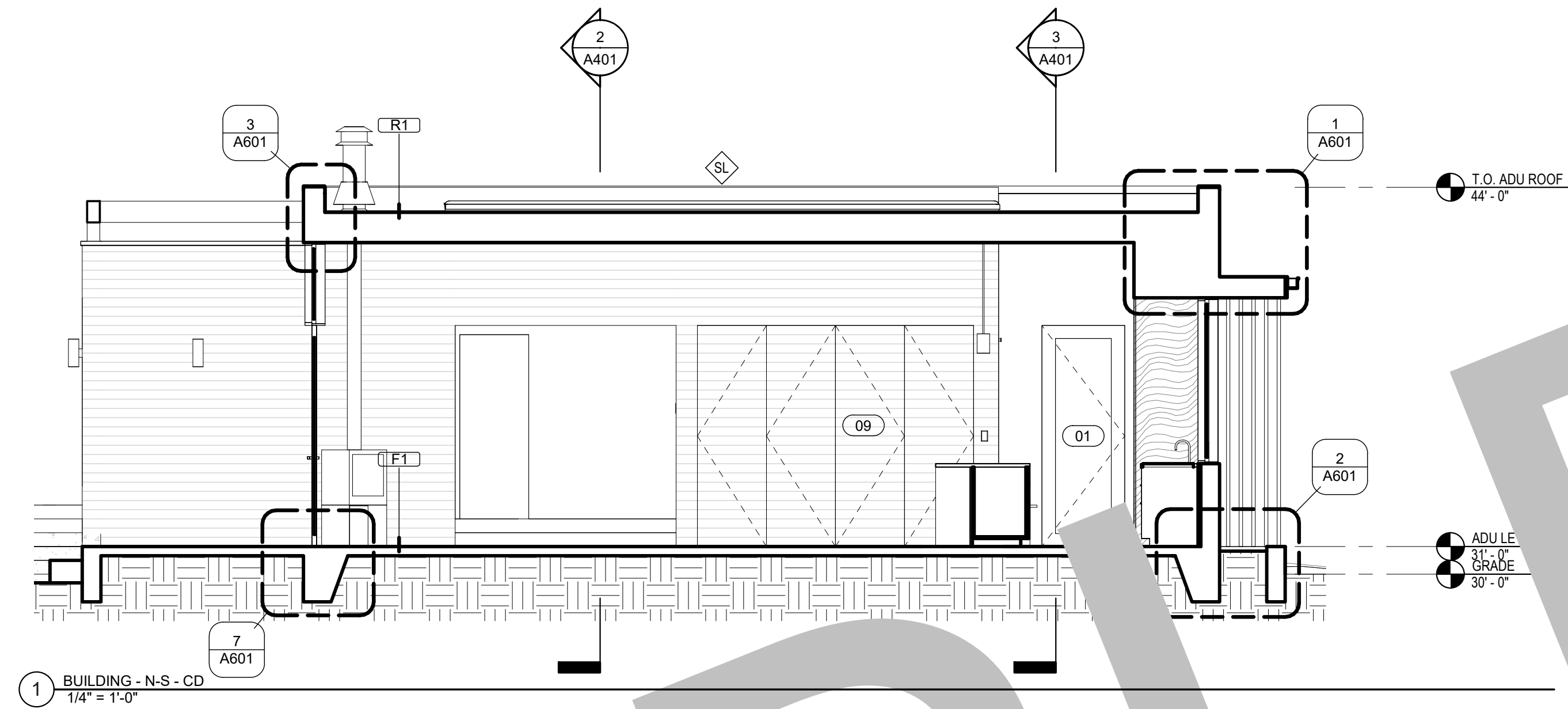
THE
SHIFT
ADU

COPYRIGHT 2024 - LUCAS GRAY DESIGN
WWW.LUCASGRAYDESIGN.COM
503-453-7195

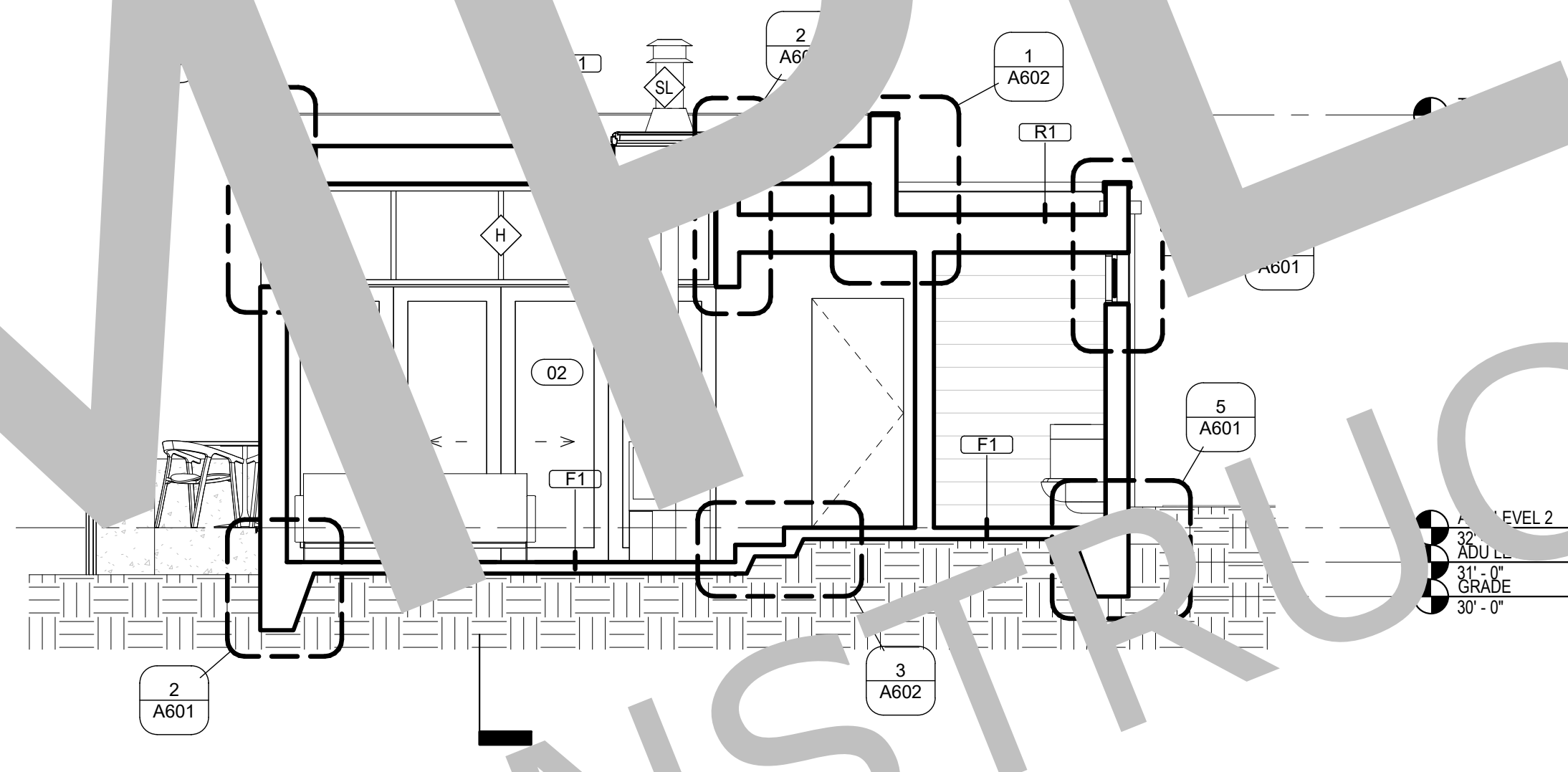
ELEVATIONS

A401 - SECTION NOTE BLOCK

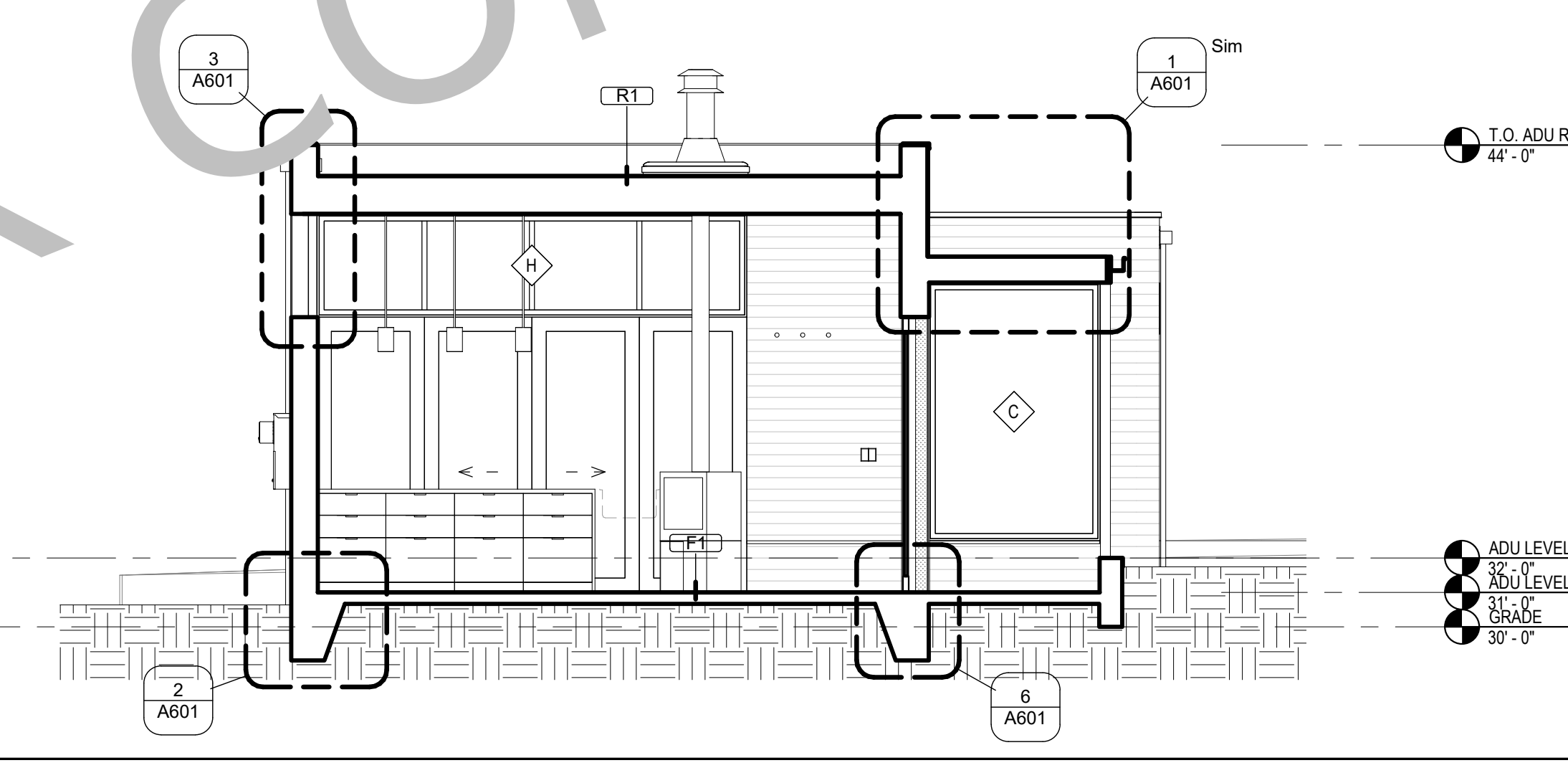
LEGEND - SECTIONS



1 BUILDING - N-S - CD
1/4" = 1'-0"



2 BUILDING - E-W - CD
1/4" = 1'-0"

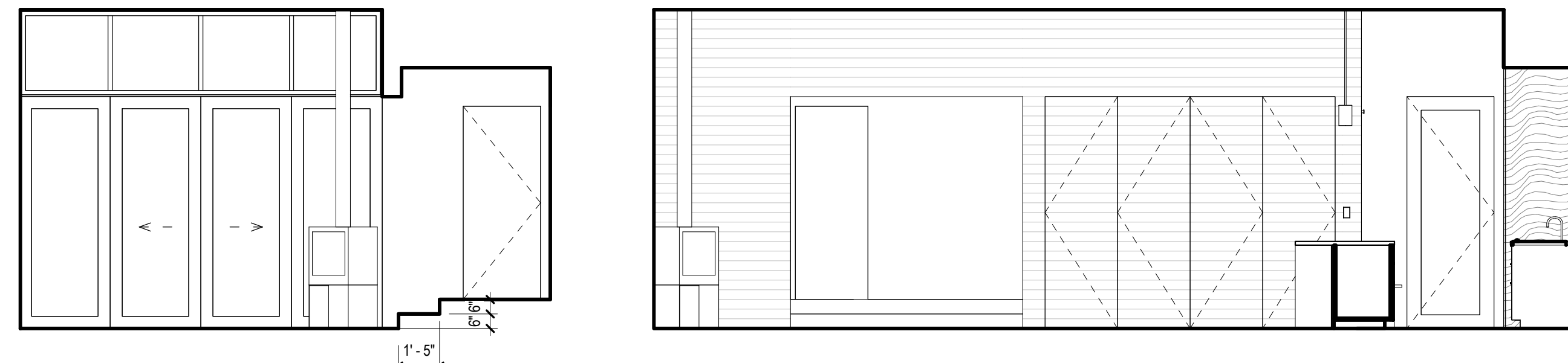


3 BUILDING - E-W - CD1
1/4" = 1'-0"

SAMPLE NOT FOR CONSTRUCTION

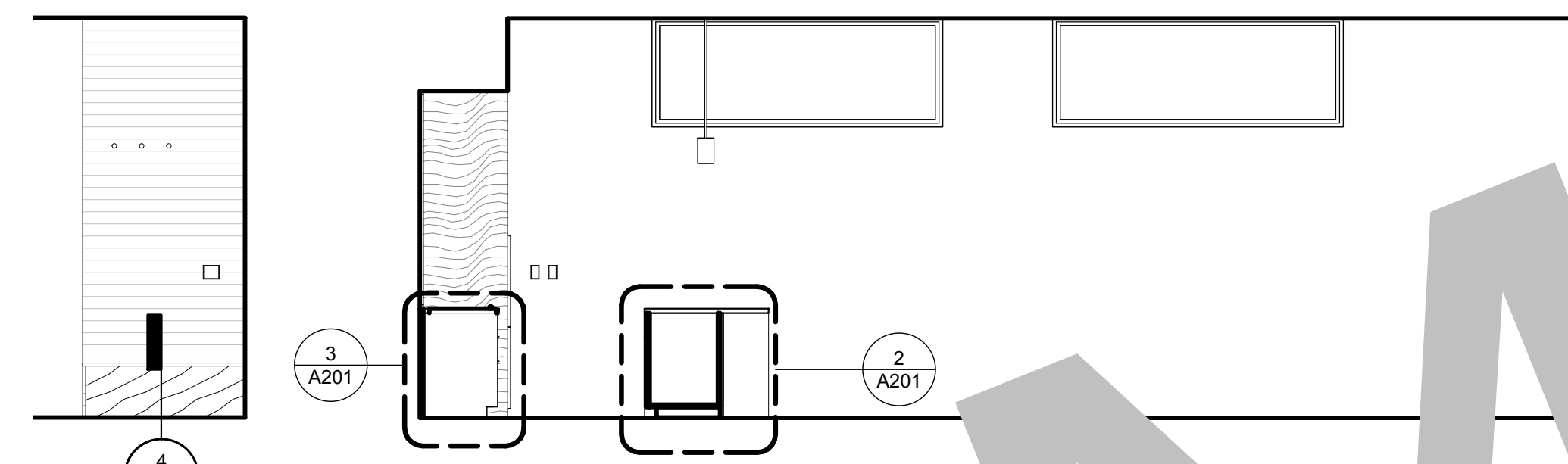
INTERIOR WALL ASSEMBLIES

EXTERIOR WALL ASSEMBLIES



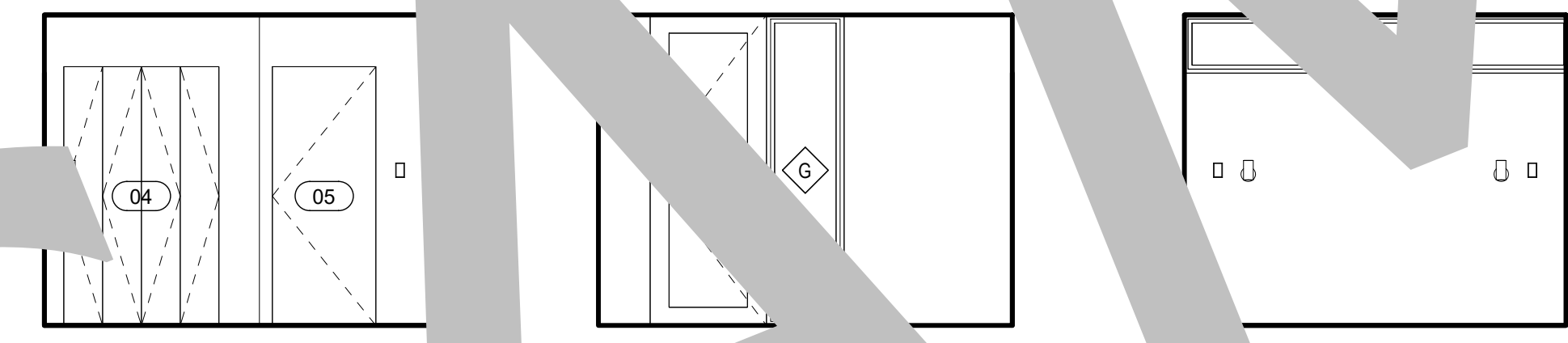
3 GREAT ROOM - N
1/4" = 1'-0"

2 GREAT ROOM - E
1/4" = 1'-0"



1 INTERIOR - BENCH
1/4" = 1'-0"

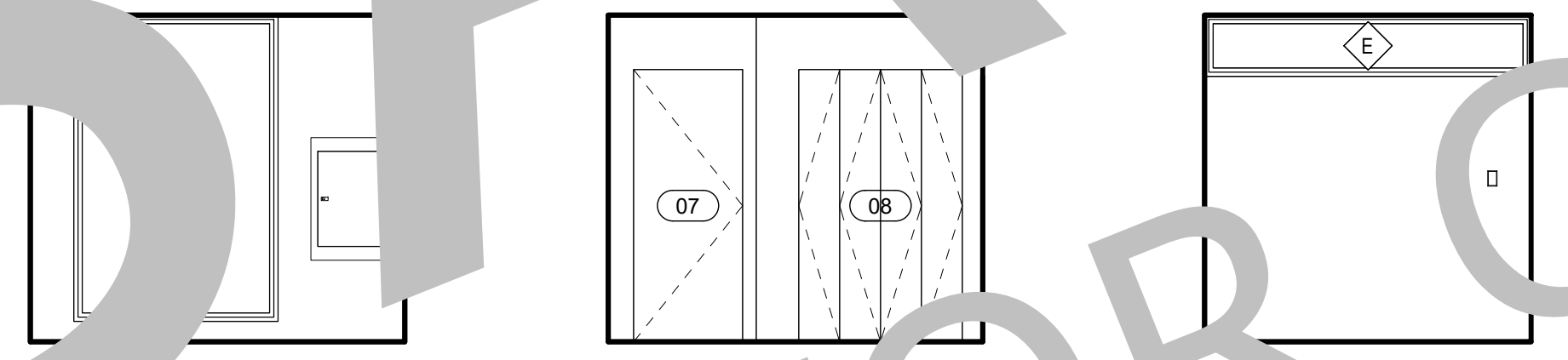
4 GREAT ROOM - W
1/4" = 1'-0"



7 BEDROOM - S
1/4" = 1'-0"

6 BEDROOM - N
1/4" = 1'-0"

5 BEDROOM - E
1/4" = 1'-0"

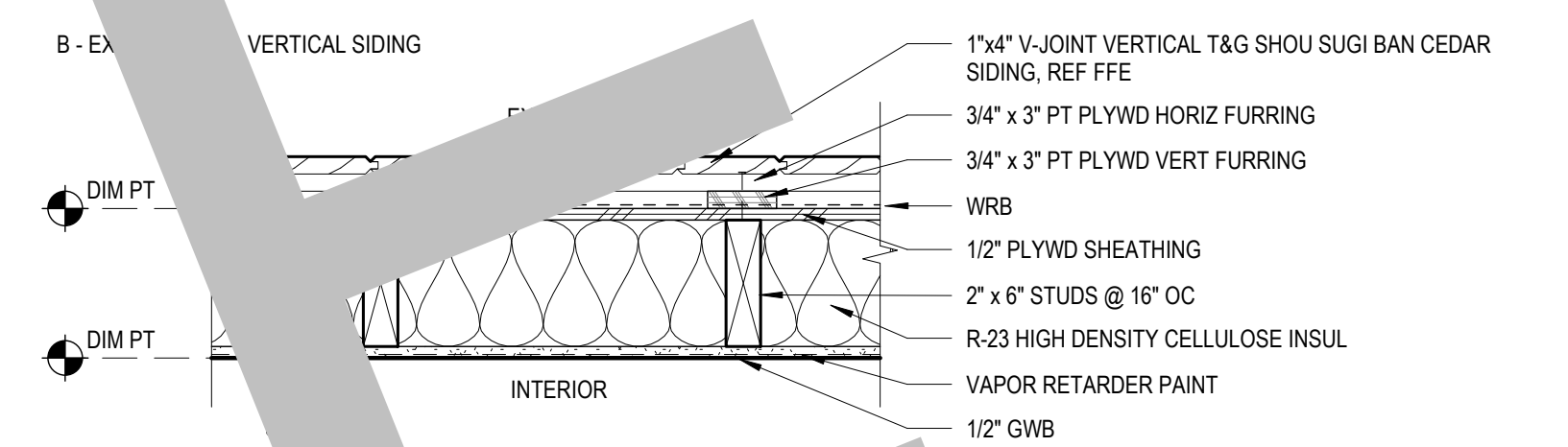
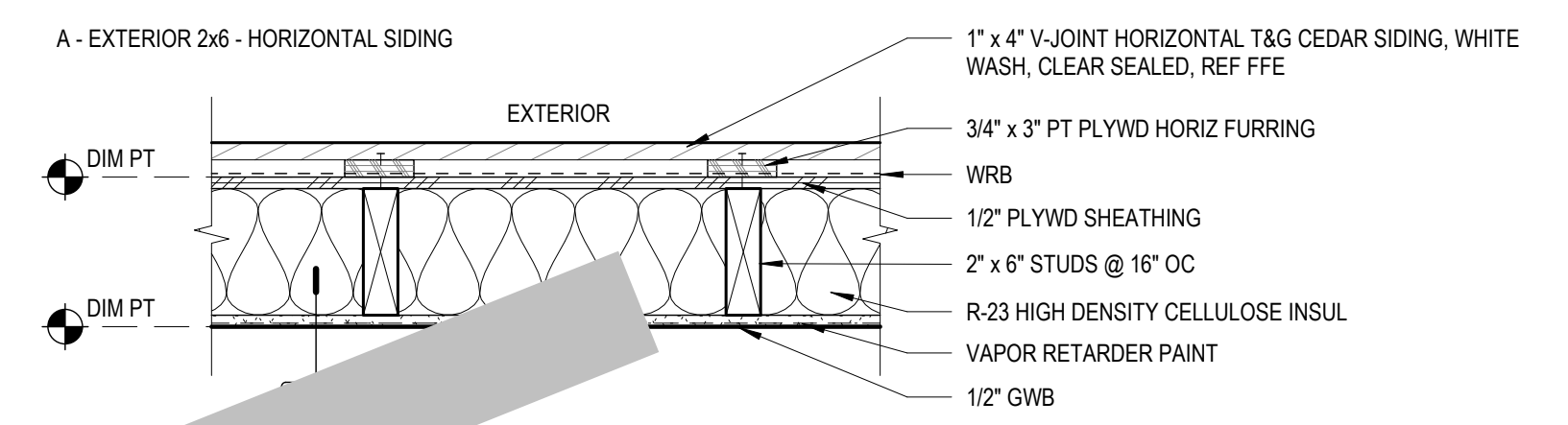
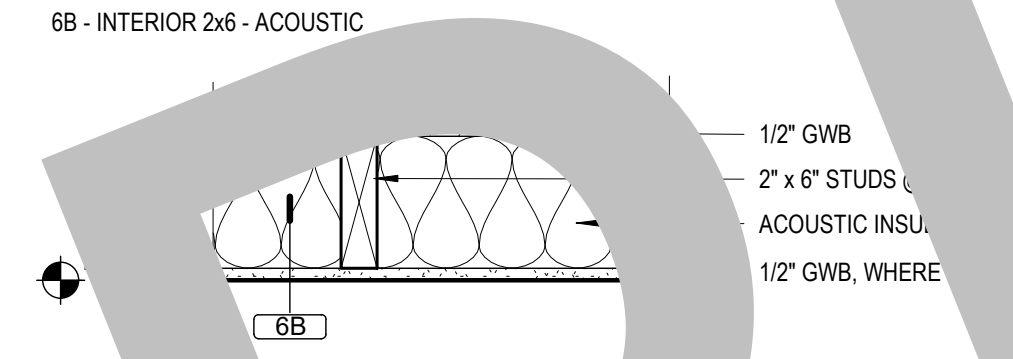
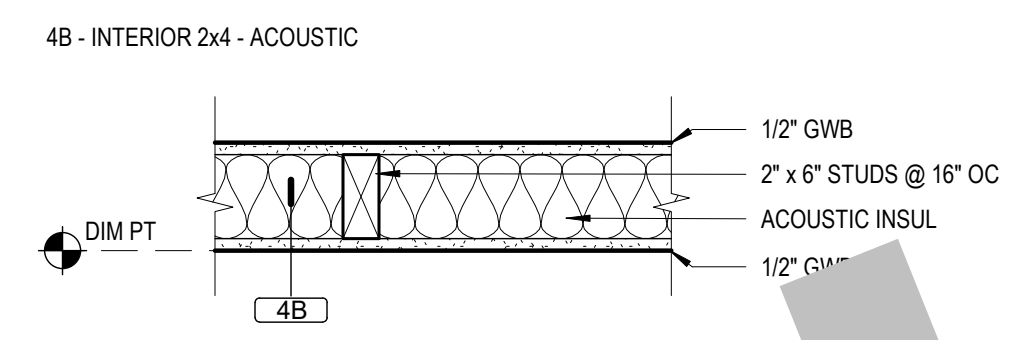
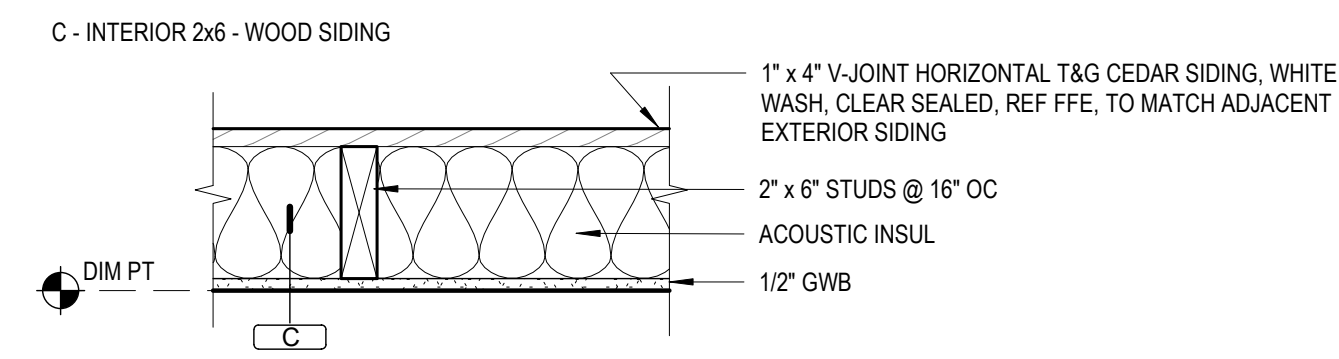


10 OFFICE - S
1/4" = 1'-0"

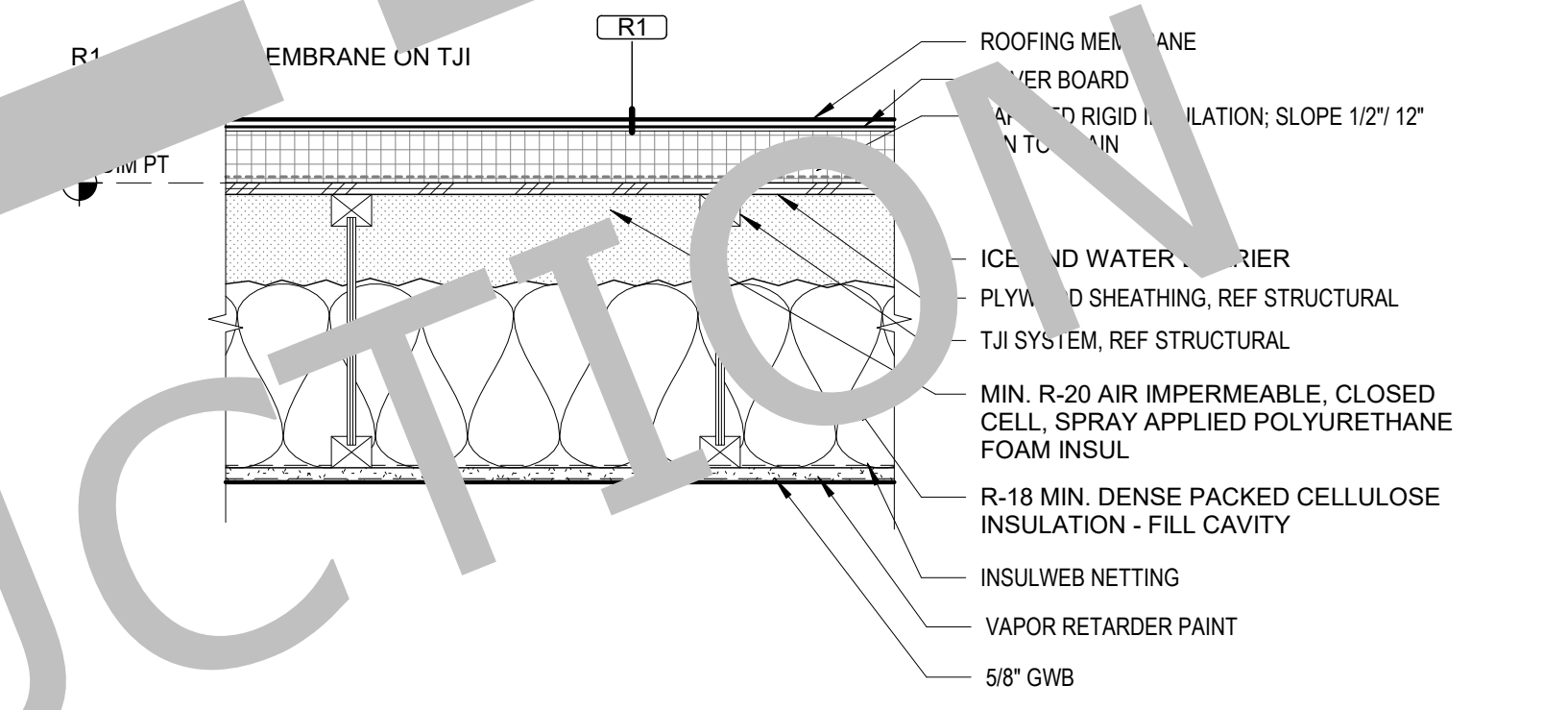
9 OFFICE - N
1/4" = 1'-0"

8 OFFICE - E
1/4" = 1'-0"

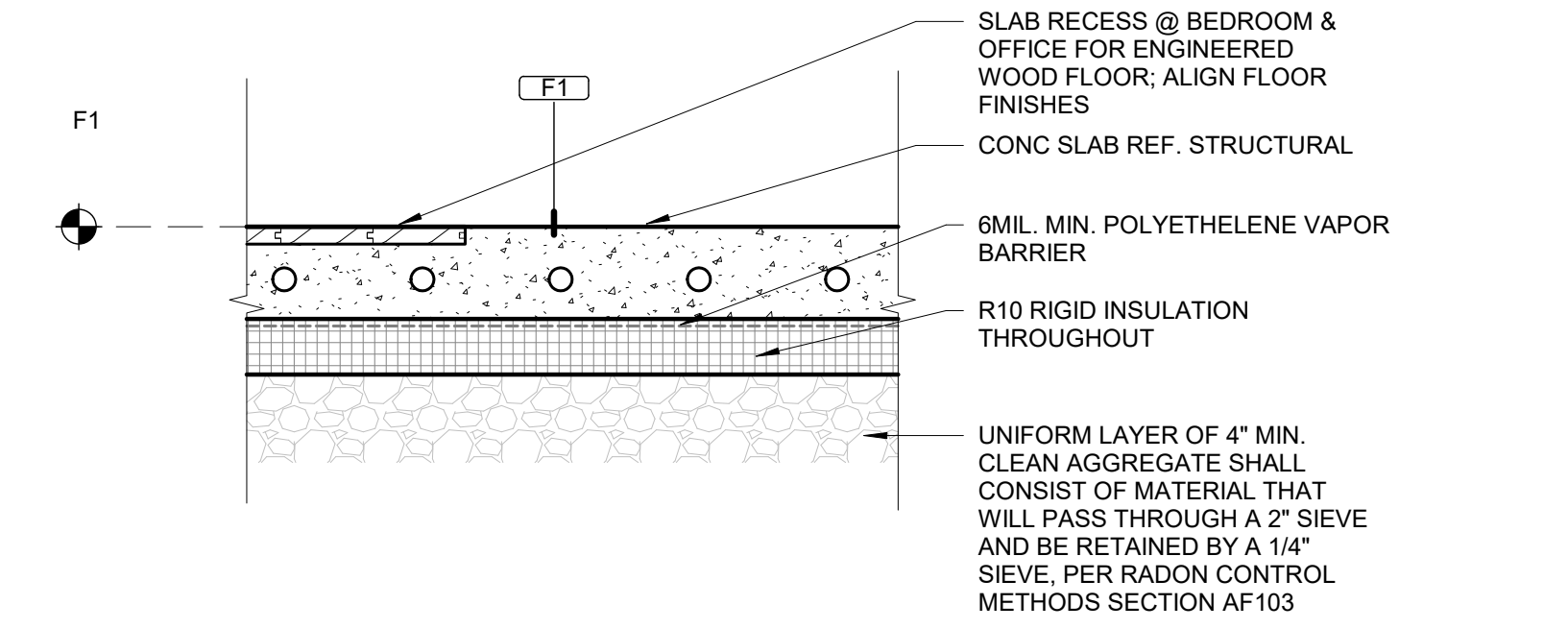
A501 - INTERIOR ELEVATIONS NOTE BLOCK



ROOF ASSEMBLY



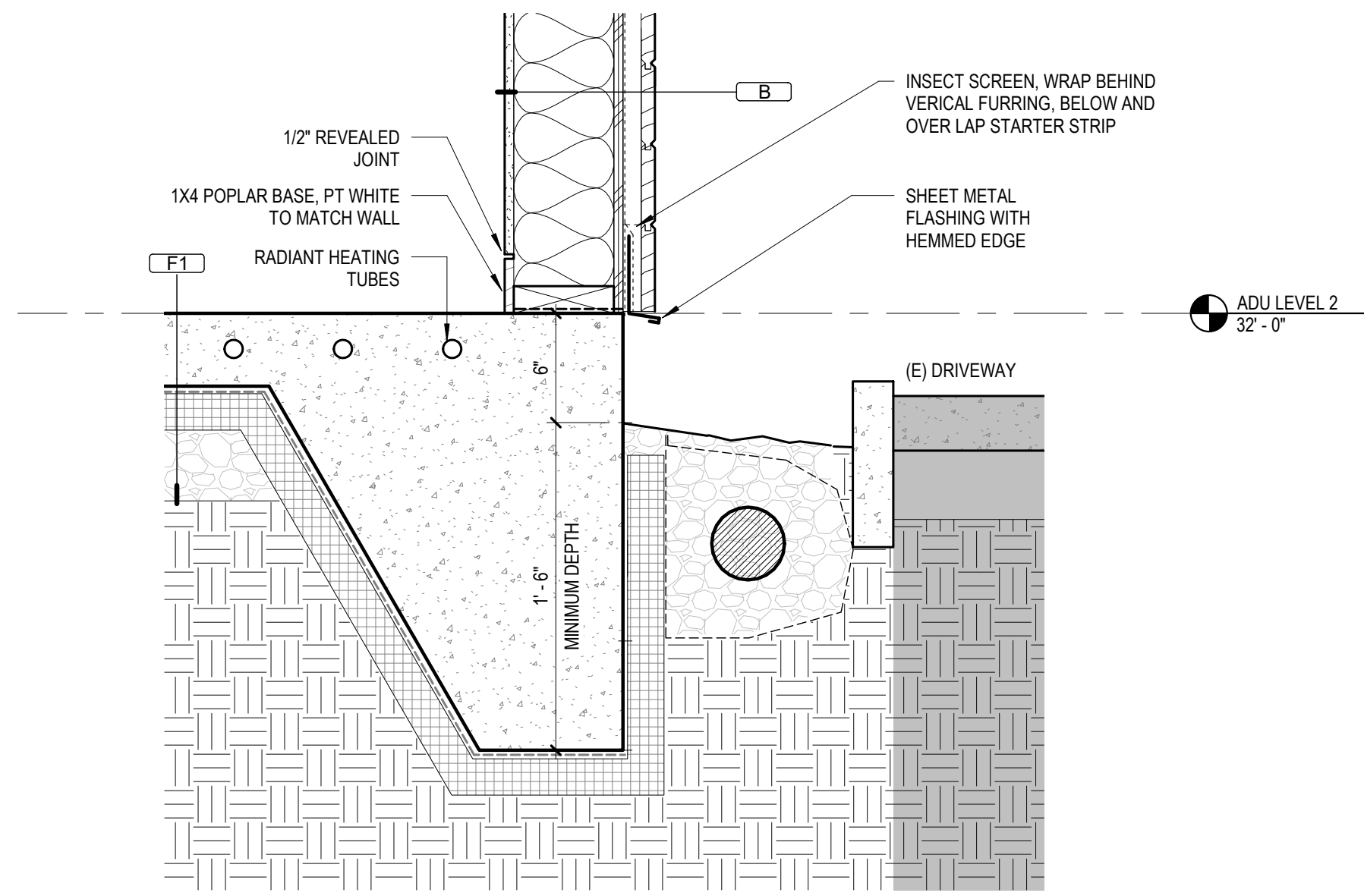
FLOOR ASSEMBLY



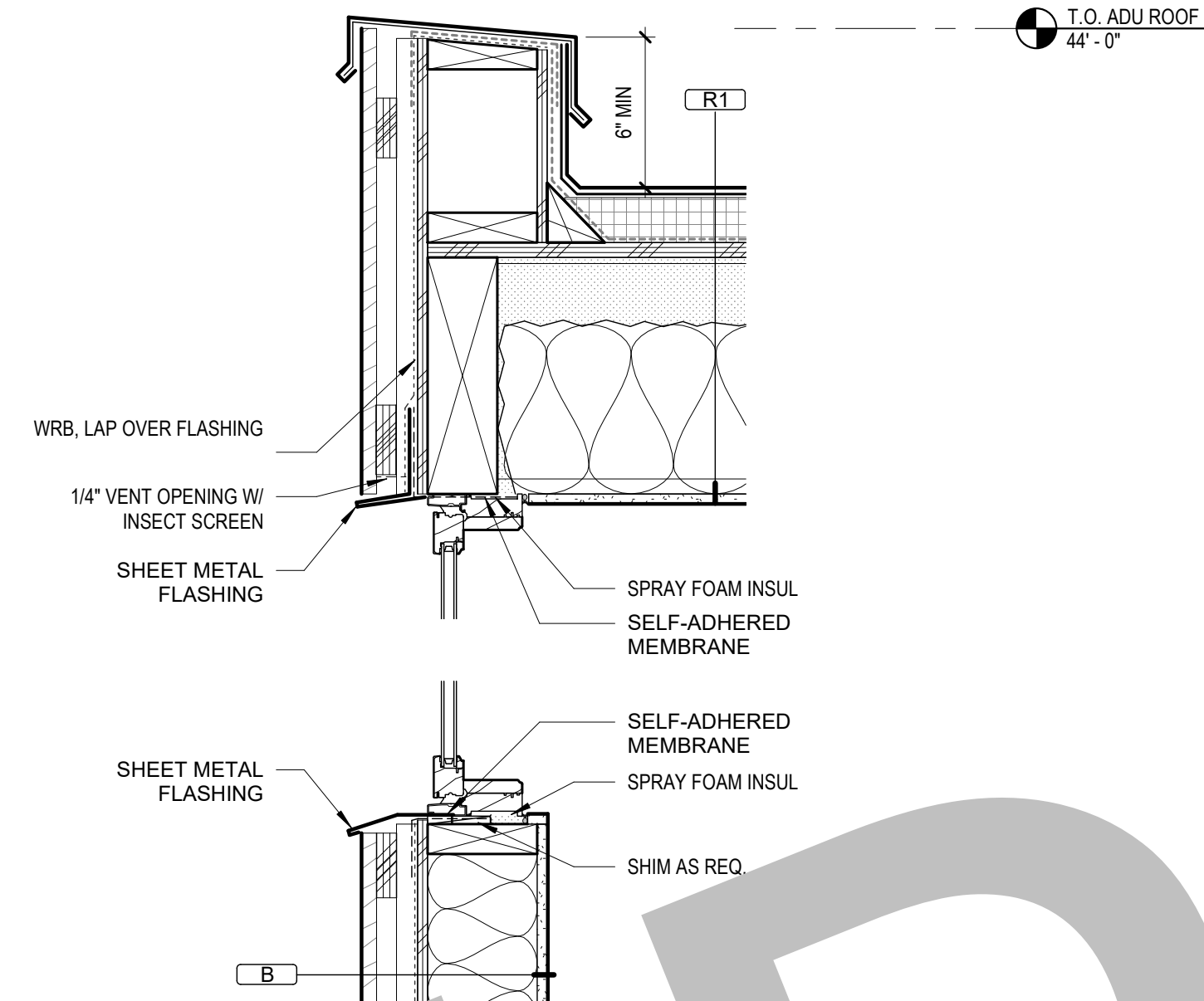
NOT FOR CONSTRUCTION

THE SHIFT ADU

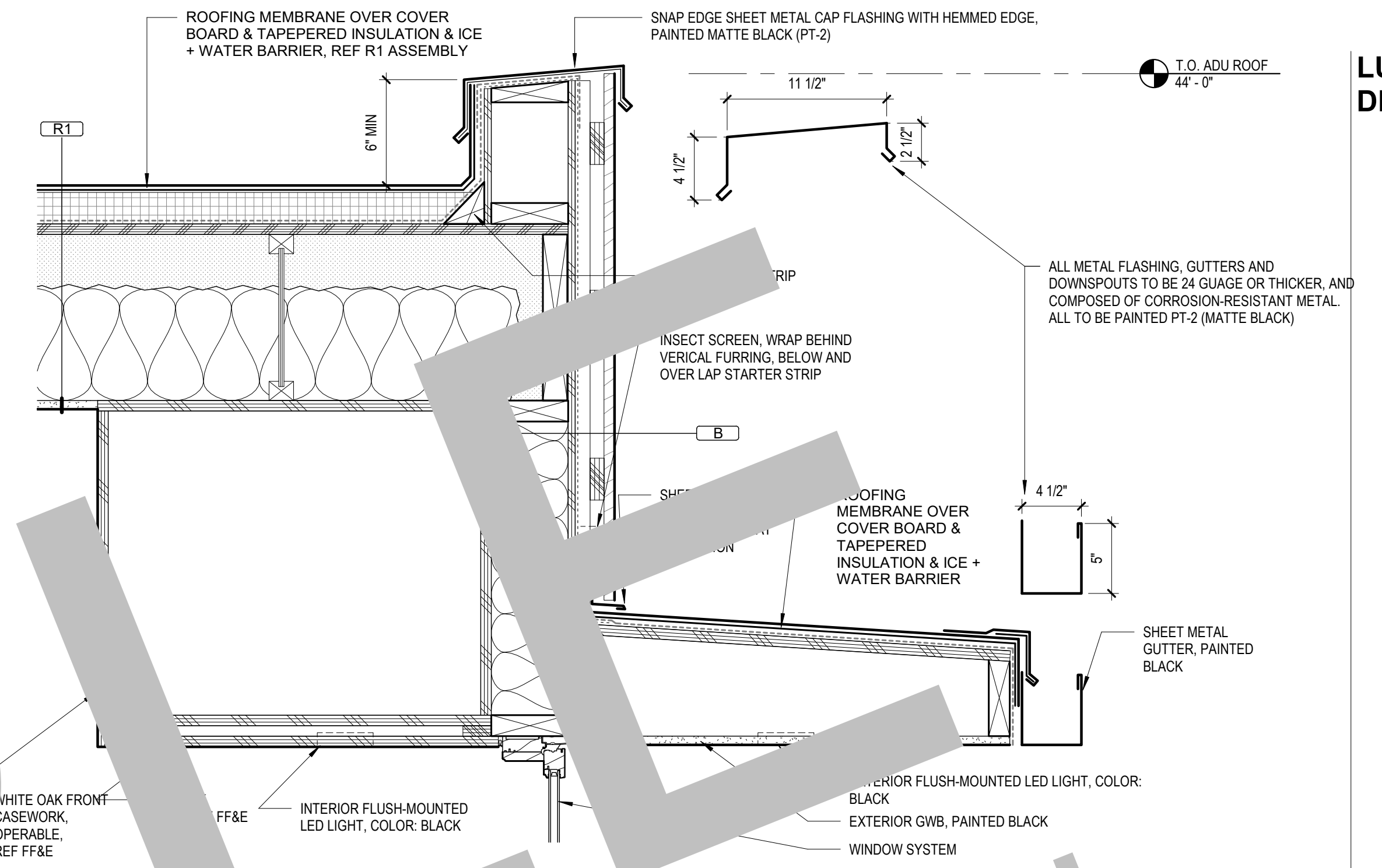
INTERIOR ELEVATIONS & ASSEMBLIES



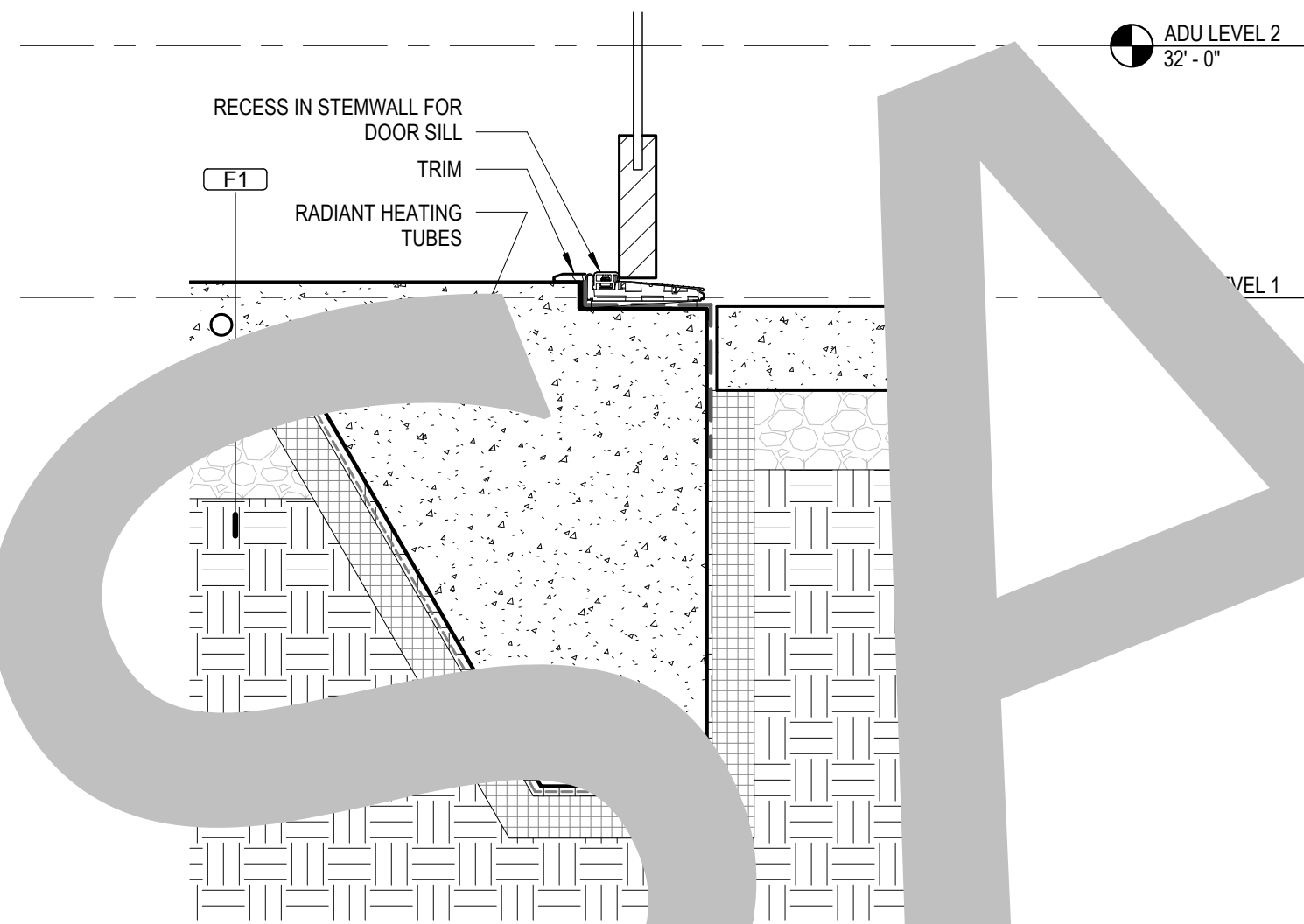
5 FOUNDATION @ HIGHER GRADE
1 1/2" = 1'-0"



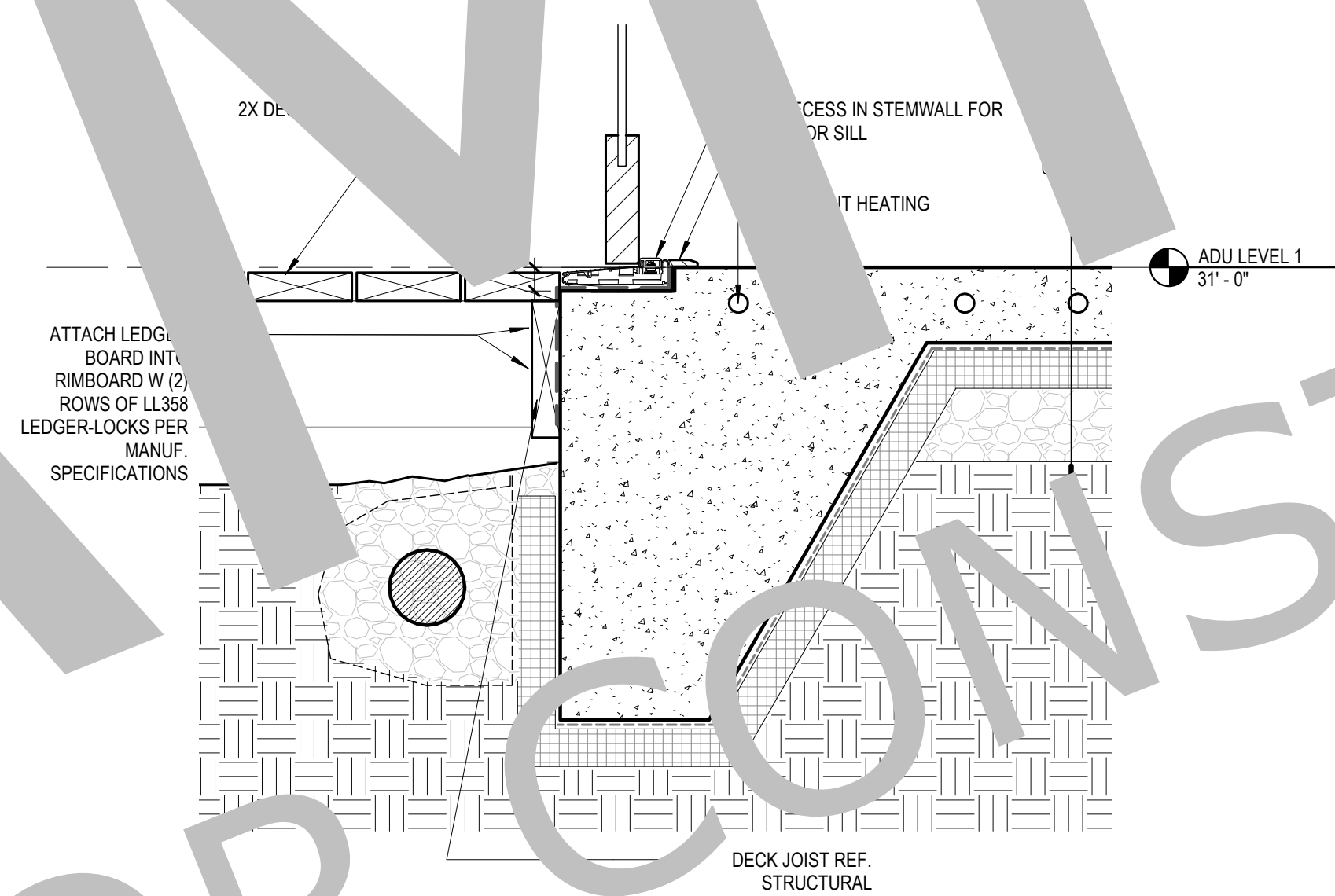
3 PARAPET/WINDOW HEAD + SILL
1 1/2" = 1'-0"



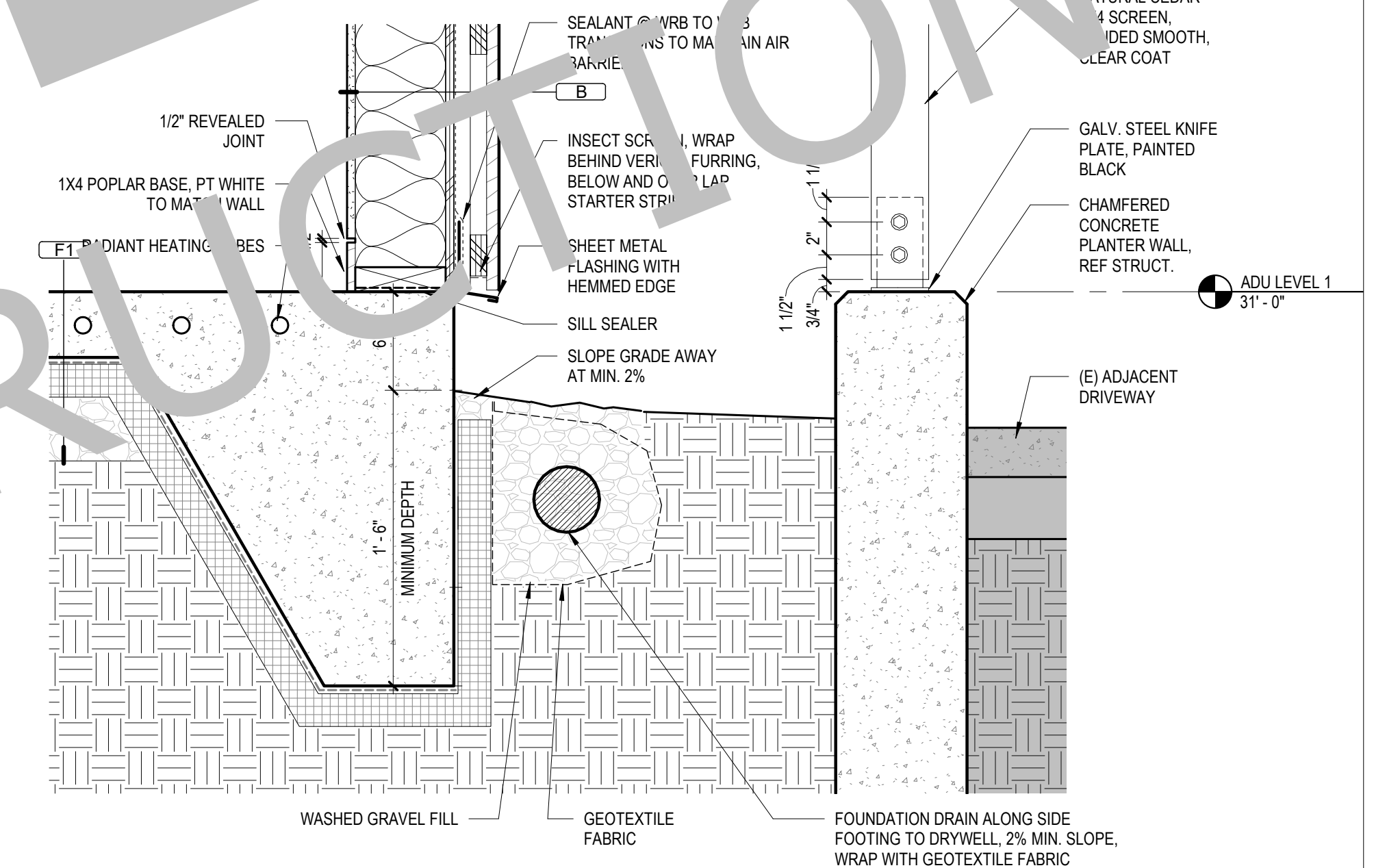
1 PARAPET @ KITCHEN
1 1/2" = 1'-0"



6 FOUNDATION @ ENTRY DOOR
1 1/2" = 1'-0"

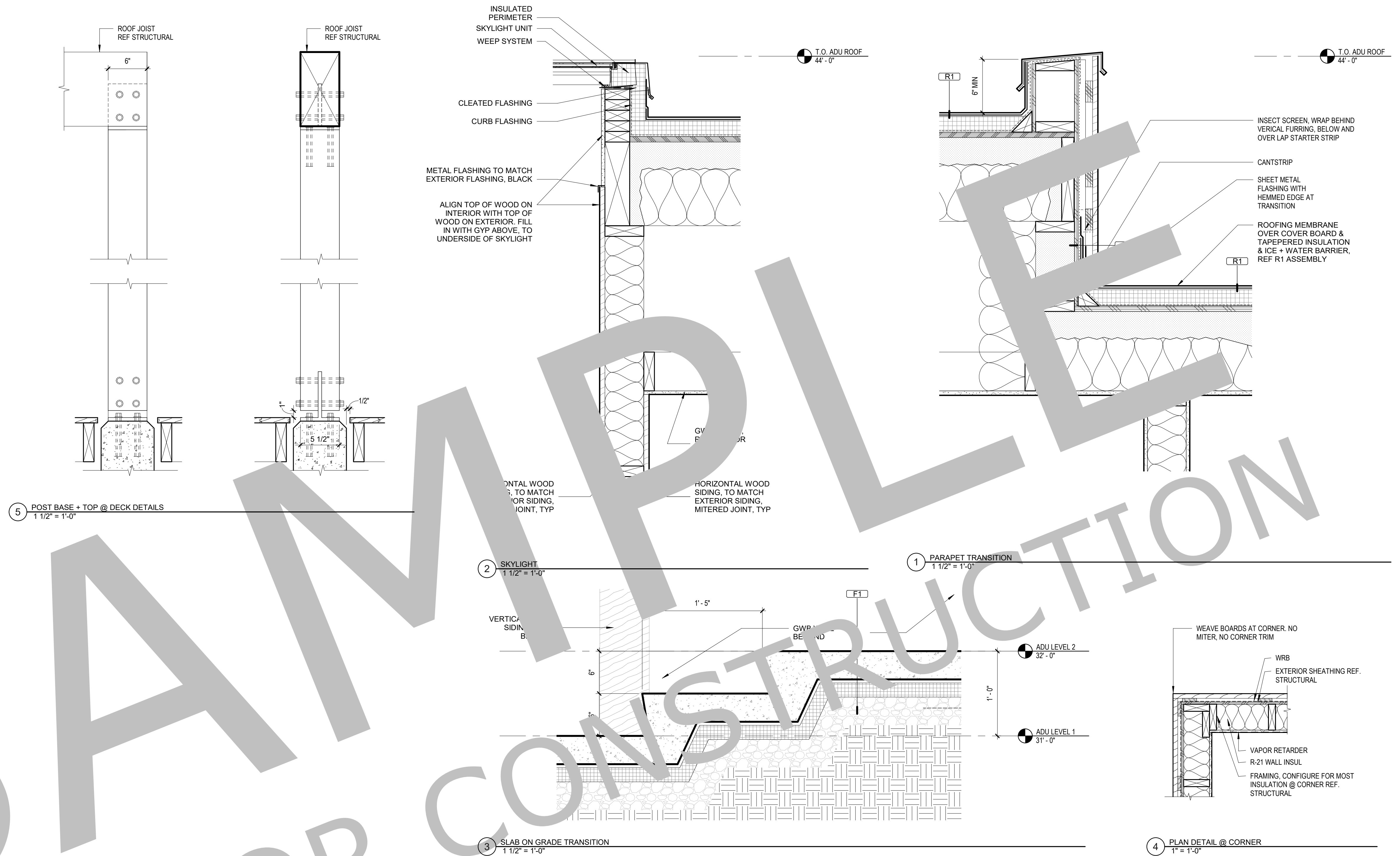


7 SLIDER @ FOUNDATION
1 1/2" = 1'-0"



2 FOUNDATION @ PLANTERS
1 1/2" = 1'-0"

SAMPLE FOR CONSTRUCTION



SAMPLE NOT FOR CONSTRUCTION



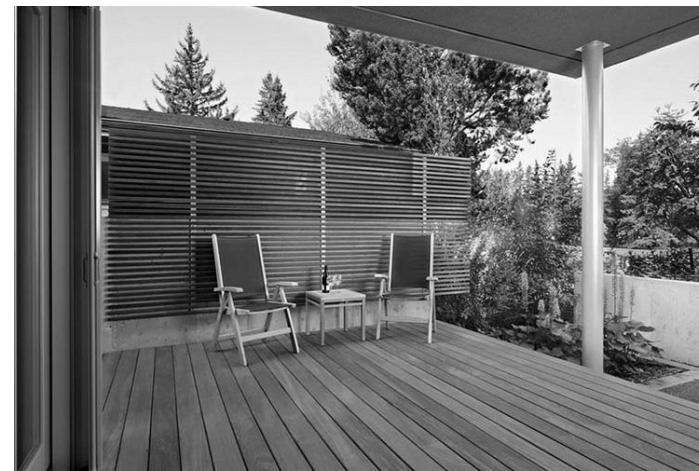
INTERIOR TRIM @ WOOD WALLS
NO BASE TRIM AT INTERIOR WOOD WALLS
FRY REGLET REVEAL AT BASE



INTERIOR TRIM @ GWB WALLS
FRY REGLET REVEAL WITH 3.5" FLUSH BASE



WINDOWS & DOORS
JELDWEN EPICVUE, BLACK ANODIZED EXTERIOR FINISH, WHITE OAK INTERIOR, CLEAR LACQUER INTERIOR, REF OPENING SCHEDULE



OUTDOOR DECK
OPEN-JOINTED 1"x4" CEDAR DECKING, CLEAR SEALED



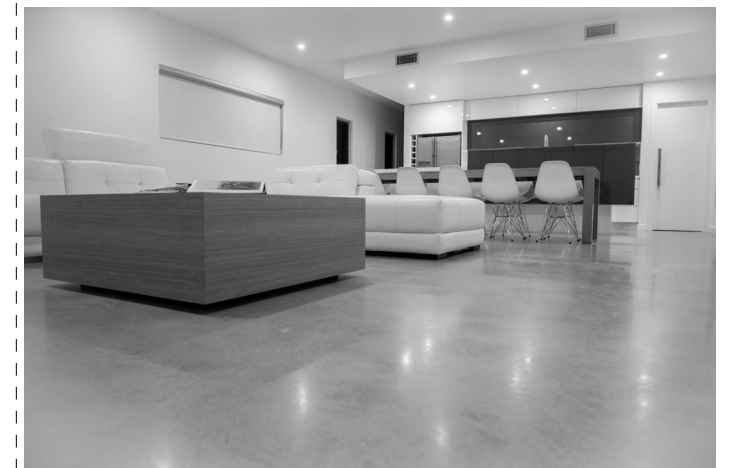
SIDING
1"x4" V-JOINT T&G VERTICAL CEDAR SIDING, SHOU SUGI BAN



SIDING
1"x4" V-JOINT T&G HORIZONTAL CEDAR SIDING, WHITE WASH, CLEAR SEALED (CONTINUE INTO INTERIOR)



WOOD FLOORING
BONNEVILLE CRONIN EUROPEAN OAK PIGEON GRAY



CONCRETE FLOORING
POLISHED CONCRETE W/ CLEAR COAT, NO TINT



0011 Sugar Dust



0011 Sugar Dust



TANKLESS ELECTRIC WATER HEATER
RHEEM RHEEM R50 4.4 GALLONS PER GALLON ELECTRIC WATER HEATER/DRYER LOCATED IN CABINET NEXT TO BATHROOM SECOND ONE FOR BATHROOM, SECOND IN CLOSET OFF LIVING ROOM



WINDOW SHADING
DUAL ROLLER SHADES BY TER DOUGLASS ROLLER SHADES RISTA COLOR: WHITE



INTERIOR SCIONCE LIGHTING
LUCIFER LIGHTING CYLINDER CW2 DOWN LIGHT SCIONCE DOWN LIGHT MATTE BLACK



EXTERIOR SCIONCE LIGHTING
LUCIFER LIGHTING CYLINDER CW2 SCIONCE UP / DOWN LIGHT MATTE BLACK VERIFY WET LOCATION RATED



TYPICAL RECESSED LIGHTING (NOT IN BATHROOM)
LUCIFER LIGHTING PR15 ULTRA DIMMABLE LED SQUARE RECESSED LIGHT WHITE



RECESSED DOOR LIGHT FIXTURE
6" SUPER THIN LED RECESSED FIXTURE 12W, BLACK By Lotus LED Lights BLACK VERIFY WET LOCATION RATED



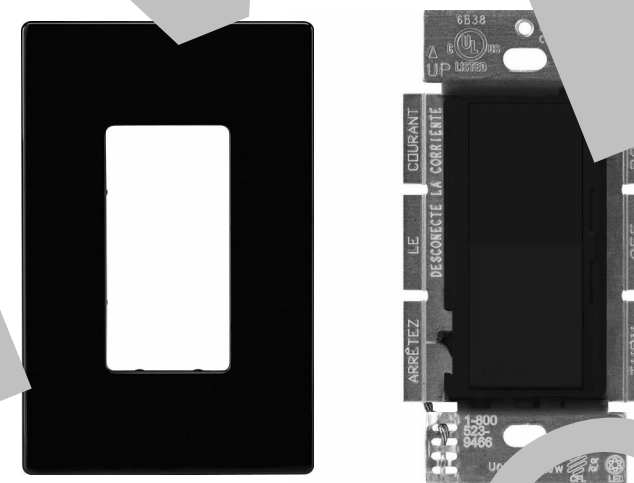
MAILBOX
DEUS MODERN WALDO XL - CUSTOM COLOR: MATTE BLACK AND STAINLESS STEEL INCLUDE ADDRESS NUMBERS ON MAILBOX



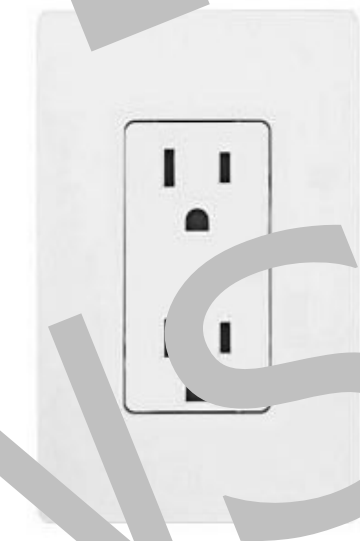
THERMOSTAT
NEST THERMOSTAT WHITE



GAS FIREPLACE
RAIS QTEE-II GAS W/ STEEL DOOR AND HIGH BASE



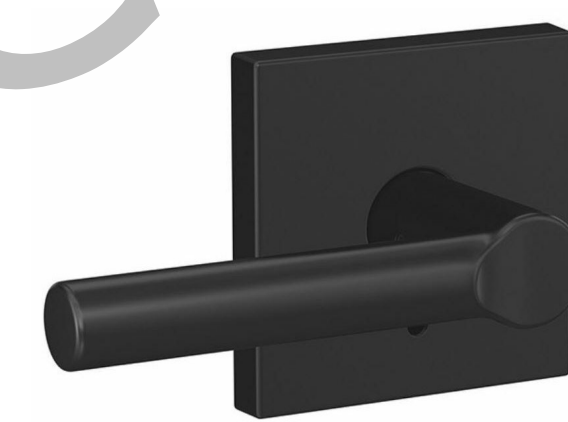
BLACK SWITCHES AND OUTLETS (ON WOOD WALLS)
LUTRON SCREWLESS WALLPLATE AND DIMMER SWITCH



TYPICAL OUTLETS
LUTRON SCREWLESS WALLPLATE SATIN WHITE



TYPICAL SWITCHES & RECEPTACLES
LUTRON DIVA + CLARO DIMMER, SCREWLESS COVER PLATE SATIN WHITE



INTERIOR DOOR HARDWARE
SCHLAGE Custom Broadway Lever with Collins Trim Hall-Closet and Bed-Bath Lock FC21 BRW 622 COL Finish: Matte Black



FRONT DOOR HARDWARE
SCHLAGE CENTURY TOUCH LATITUDE FE375-CEN-625-LAT MATTE BLACK



EXTERIOR PATIO PAVERS
STEPSTONE INC LARGE SCALE CALARC CONCRETE PAVERS 24"x24" 1" GAP GROUND COVER

NOT FOR CONSTRUCTION

*THESE RENDERINGS ARE FOR REFERENCE ONLY

LUCAS GRAY
DESIGN



SAMPLE
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THE
SHIFT
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